



Aberdeen City Conservation Area Character Appraisals and Management Plan

## Albyn Place and Rubislaw

To be read in conjunction with Section 1: Strategic Overview and Section 2: Management Plan

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# Albyn Place and Rubislaw

## 1 Introduction

### 1.1 Profile

Designation Date	1 July 1968
Extended	March 1975 (7.2 hectares added), January 1978 (1.2 hectares and 2.26 hectares)
Previous character appraisals	n/a
Article 4 Direction	Yes
Size (hectares)	139 hectares
Number of character areas	5
Number of listed buildings	Total – 481 Category A – 22 Category B – 304 Category C – 155
Buildings at Risk	0
Scheduled Ancient Monuments	0
Adjoining Conservation Areas	Great Western Road, Rosemount, Union Street
Sites and Monuments Record	41

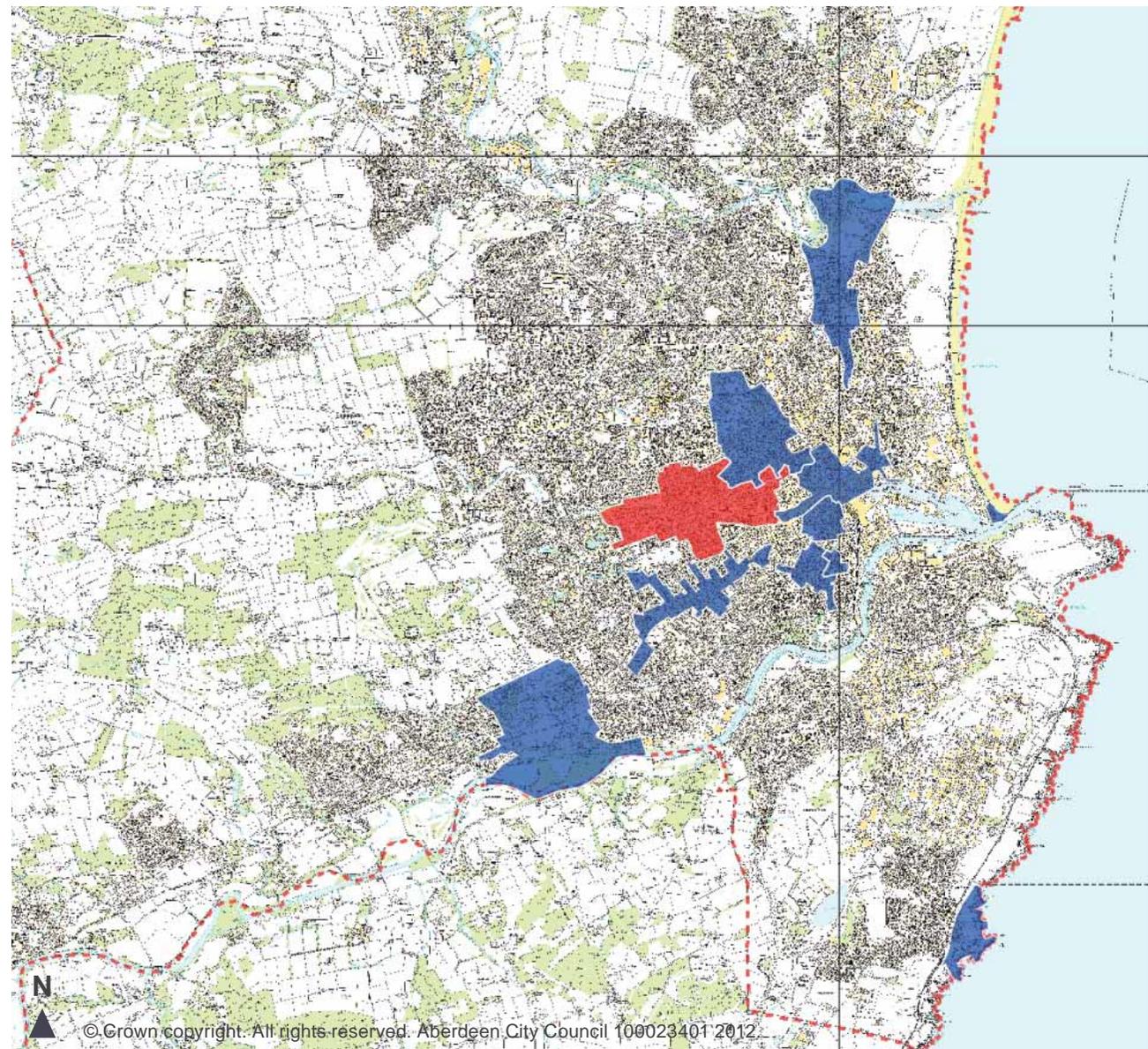
### 1.2 Summary of significance

Albyn Place/Rubislaw was one of the first Conservation Areas designated in Aberdeen. The area was built to show the prosperity and wealth of the city and of those who had its commissioned buildings. It embraces the Victorian development of the city, providing good examples of planned streetscapes; formal gardens and residential developments. The area is characterised by wide tree lined streets, which follow a linear and grid pattern. The majority are accompanied by low granite front garden walls and back lanes that provide access to the rear of buildings. There is a mixture of public formal space and private informal space.

Alongside the grandiose developments and distinctive semi-detached and detached villas, there are rows of simpler yet substantial terraced developments. To the north, south and west sit terraces; semi-detached and detached residential dwellings of granite and slate, most of which are two storeys and sit back off linear streets. To the east there is a concentration of business, commercial and educational facilities which occupy substantial granite buildings close to the city centre.

The area comprises a substantial number of listed buildings and listed structures. Many of the streets within the Conservation Area consist primarily of listed building and many are group listed. The area highlights an outstanding array of buildings, encompassing many styles, materials and building practices that are locally distinctive.

Location of the conservation areas within the City of Aberdeen



## 2 Location, history and development

### 2.1 Location

The Conservation Area sits to the west of Aberdeen city centre, reaching from King's Gate in the north to Ashley Lane in the south and from Queen's Road in the west to Jack's Brae in the east. The Conservation Area is distinctive due to the presence of Victorian built linear and grid streets, with back lanes accessing the majority of properties. There is evidence of the pre Victorian street pattern to the west of the Conservation Area in Jack's Brae. Of the original rough tracks that provided access to the area, King's Gate and Beechgrove Terrace follow the route of South Stocket Road. Queen's Road sits on a similar projection to the original

'route to Rubislaw'. Spademill Road is all that is left of an ancient cross country route, the Old Road, which linked north to south and was a major route in its day between South Stocket Road (King's Gate) and Skene Turnpike (Queen's Road). The streets within the area do not follow the topography of the landscape but were developed to Victorian schemes and designs.

The landscape is slightly undulating due to the Denburn and its associated valley which runs west to east through the spine of the Conservation Area. A number of water features historically ran through the area including the Holburn and the West Burn of Rubislaw although these features have been built over. The Denburn, sometimes known as the North Burn of Rubislaw, is the main water and valley feature in the

Conservation Area. Although not immediately visible to the naked eye due to the layout of the surrounding streets, the Denburn runs for the majority of the Conservation Area. The land surrounding this does dip sharply at the eastern edge of the Conservation Area, round Skene Street making it more noticeable in the landscape.

## 2.2 Development History

The Conservation Area encompasses development mostly from the second phase of Aberdeen's growth, from 1820 to 1900. Prior to 1820 the area was known as the Freedom Lands and consisted of open countryside with a handful of small hamlets, small farms and the occasional mansion with rough access routes running to and from Aberdeen.

In 1800 Queen's Road was planned from Aberdeen to Alford by Aberdeen's turnpike trustees. The road took a straight line via

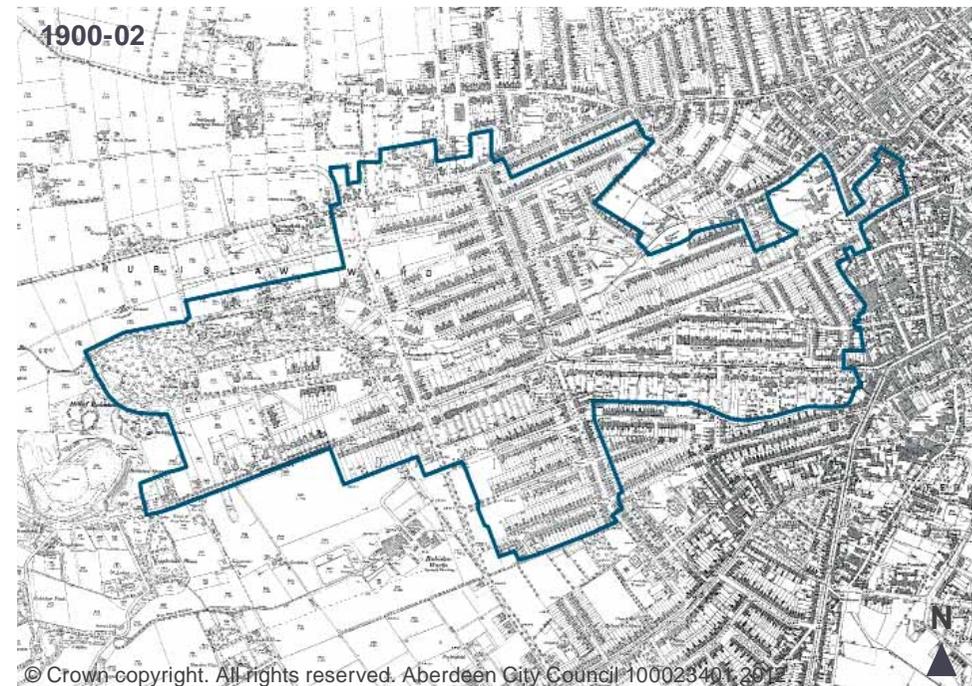
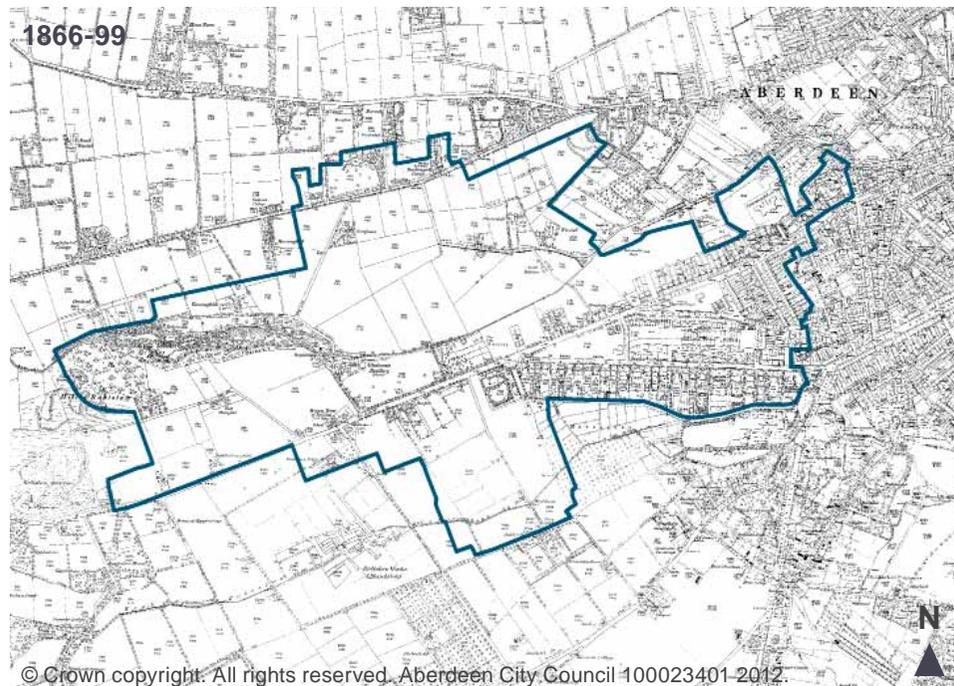
what are now Skene Street and Carden Place. The Skene Turnpike was operating by 1803 and paved the way for the creation of the West End of Aberdeen. A further toll, the Rubislaw Tollhouse, was established in 1837. To the north sat South Stocket Road – now King's Gate and Beechgrove Terrace.

Development in the area was at initiated by the landowner, James Skene, and from the Aberdeen Land Association, later the City of Aberdeen Land Association (CALA). From larger pieces of land, smaller plots were sold

off according to a plan resulting in planned neighbourhoods such as those of Rubislaw, Fountainhall and Morningfield. Development consisted of straight well ordered granite terraced properties, detached villas and villas, the majority of which had ample garden space.

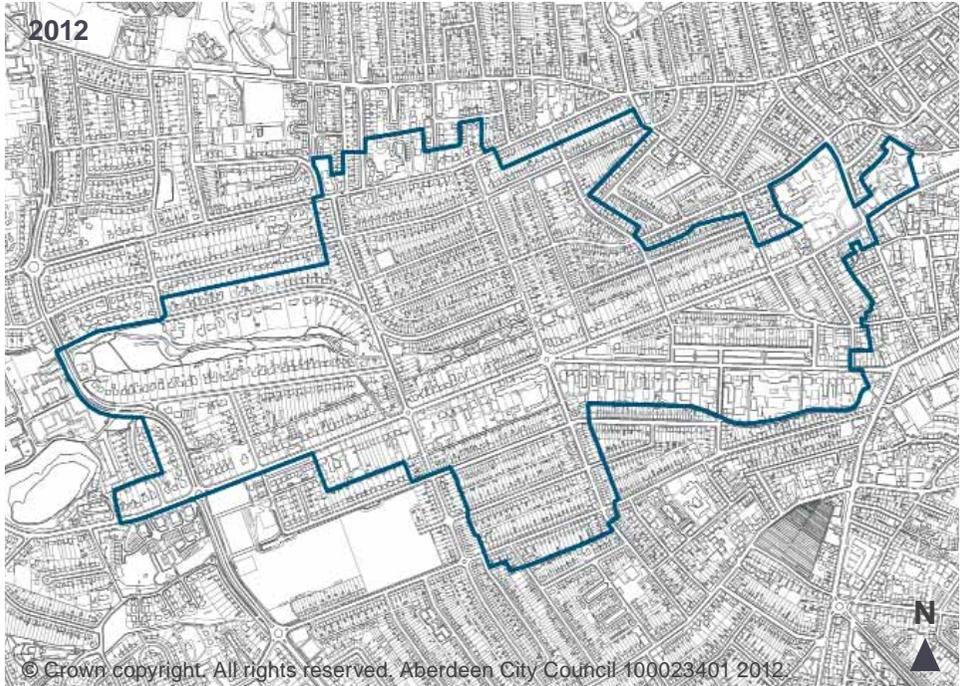
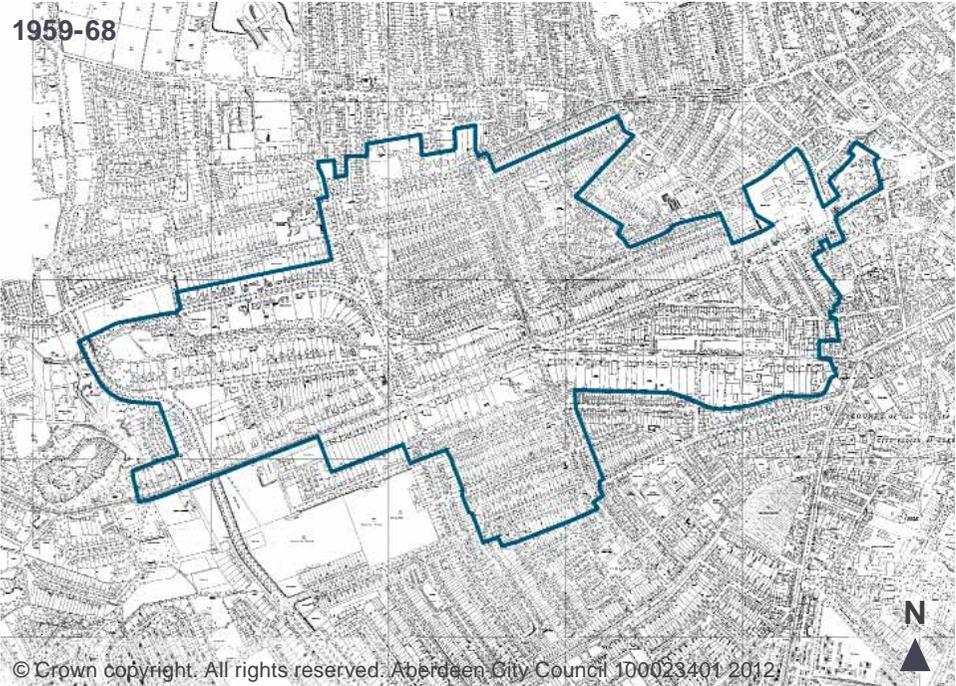
Early planned development began with Carden Place and Albyn Place and the associated streets which sit within the triangle these form. Expansion was rapid in the West End during the last 25 years of the 19th century. By 1875 the West End of Aberdeen had only reached

Historical development maps for Albyn Place and Rubislaw area



Queen's Cross with St Swithin Street in place.  
By 1900 the street pattern sits as it does today.

There is a distinctive divide between residential dwellings and commercial/business. To the east along Albyn Place, Carden Place and for the majority of Queen's Road, there is a concentration of business, commercial and educational facilities which occupy substantial granite buildings close to the city centre of Aberdeen. Beyond these streets lie high quality granite and slate terraces, semi-detached and detached residential dwellings most of which are two storeys.



### 3 Character

The Conservation Area can be divided into five distinct character areas:

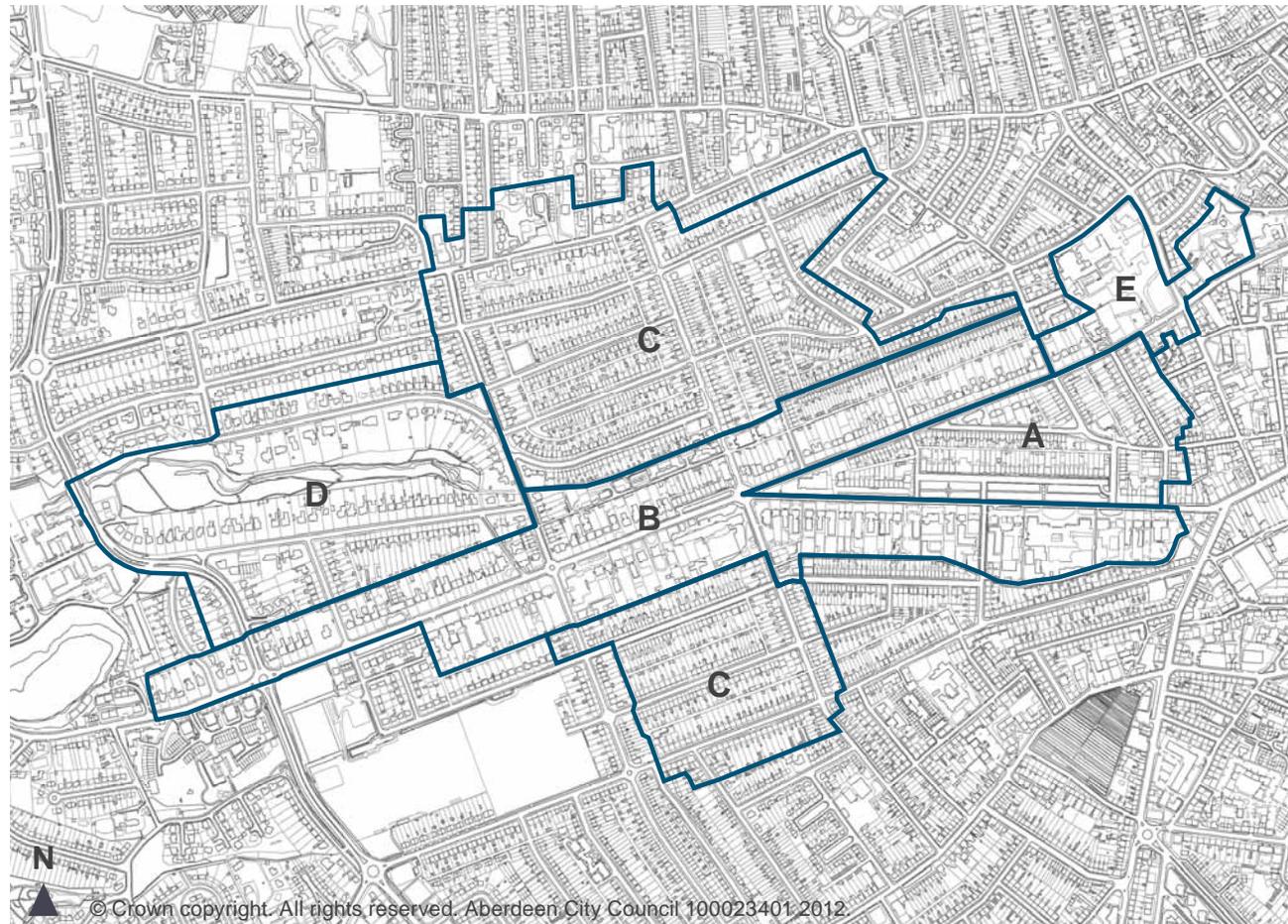
- A. Albyn Place; Carden Place; Albert Terrace and Victoria Street
- B. Queen's Road and the south side of Albyn Place
- C. North and south of Queen's Road, but east of Rubislaw Den
- D. Rubislaw Den area
- E. The area surrounding Mackie Place

#### 3.1 Setting

**A | Albyn Place; Carden Place; Albert Terrace and Victoria Street** forms a triangle of some of the earliest planned development in this area. It comprises a mixture of Aberdeen Cottage residential dwellings on Victoria Street, Albert Terrace and Carden Place and a number of terrace buildings which are now office accommodation. The area is home to Rubislaw Terrace and Queen's Terrace Gardens and two listed churches.

A scheme was developed in 1819 by Archibald Elliot consisting of a mixture of linked houses, terraced houses and open space. Only the southern section proceeded and the scheme was revised a number of times before it was completed. Skene, working in conjunction with Archibald Simpson, developed Albyn Place (1820) which took shape over a period

Albyn Place and Rubislaw conservation area character areas



of 20 years. At the tip of the triangle between Carden Place and Albyn Place sits the Gothic Revival Queen's Cross (Free) Church (1881), a category A listed building. The church, built by

JB Pirie, was designed to serve the expanding community to the west of Aberdeen. St Mary's (Tartan Kirk), another category A listed building, sits to the north of Albert Terrace.

**B | Queen's Road and the south side of Albyn Place** follows the main thoroughfare of the Conservation Area. It comprises three streets - the south side of Albyn Place, the north side of Carden Place and Queen's Road, which is formed where Albyn Place and Carden Place meet. The wide, tree lined streets run east to west with large detached buildings and institutions set back from the road. Albyn Place was developed as a set of high quality houses set within their own large back gardens. Carden Place comprises detached villas, with a spread of single and double storey villas with dormers. A number also boast bay windows. Most of the buildings on Queen's Road are listed and it has many substantial detached houses, which stand close together. The buildings are separated from the main thoroughfare by low granite boundary walls, iron railings and hedges; a number of premises also have green courtyards.

Queen's Road



**C | north and south of Queen's Road, but east of Rubislaw Den.** This area comprises the most northerly part of the Conservation Area to the north of King's Gate. To the east it runs to the western most boundary wall of the Grammar School. To the south the boundary runs along character area B, with the western boundary being Forest Road. The area comprises a linear, grid like streetscape which is residential, and mostly consists of semi-detached and terraced properties. The streets are wide and tree lined, and there are a number of back lanes in the area. The house style is on the majority plain; however there are a number of distinctive buildings in certain areas.

The southern section of Character area 3 runs from Queen's Lane South in the north to Ashley Lane in the South. The eastern edge runs along the back lane of St. Swithin Street while the western edge sits on Union Grove Lane. The character area comprises mostly semi-detached and terraced properties, set back from the wide tree lined pavements behind low granite walls. The buildings are on the whole plain yet substantial in form. The area is mostly residential, yet there is a collection of small retail premises at the southern section of St. Swithin Street. The character area runs slightly downhill from north to south.

**D | Rubislaw Den** area comprises large, ornate, detached houses which occupy the western most edge of the Conservation Area and comprises two west to east streets and one running north to south. The streets are formed round an area of private garden through which the North Burn of Rubislaw runs. The area rises to 85m above sea level on the north west corner from a low point of 70m.

**E | Mackie Place** is very distinctive when compared to the other four character areas as it follows the local topography rather than being modified through Victorian engineering. In terms of built heritage the Grammar School dominates the space, but the features which make the area distinctive are the high percentage of open space present and the undulating and steep nature of the landscape which leads down to the Denburn.

Forest Road



### 3.2 Built environment

#### 3.2.1 Typical building forms and features

**A | Albyn Place; Carden Place; Albert Terrace and Victoria Street.** These streets comprise a high percentage of Aberdeen cottage style terraces of small single storey dwellings with original large roof dormers. The dormers on these streets can appear overlarge or disproportional to the remainder of the house and are often detailed with dogtooth fascia board. The east side of Victoria Street however consists of two storey terrace houses with dormers. The terraces are of simple traditional design with detailing present on the door and window lintels. The residential dwellings on these streets are distinct from the taller two storeys with basement and attic buildings that surround them.

The detailing on the Aberdeen cottages and many of the terrace buildings is kept to a minimum, with scroll patterns on lintels above doors and windows being the most ornate patterning. Originally built as residential dwellings, the majority of buildings in the streets mentioned below now house commercial premises. The terraces of Albert Street, Rubislaw Place and numbers 2-16 Albyn Place are simple buildings with dormer windows.

The formal parks, Rubislaw Terrace Garden and Queen's Terrace Garden, occupy the majority of the south side of the character area and to the north sit Rubislaw Terrace and Queen's Terrace. These two terraces comprised of Scots Baronial and classic detailing are two of the grander terraces built during the 19th century in contrast to the plainness of the surrounding

streets. Accessed by granite steps, the buildings comprise two storeys, basement and attic in granite and slate with the bay windows that run from basement to first floor. Rubislaw Terrace is more ornate in detailing due to the crow stepped gables and the heavy granite detail on the doorframes, which is continued to the lintel and stringcourse and in ornamentation around the windows. The terraces are set back from the street with iron railings running along the length of the street. Albyn Terrace is built in coursed granite over two storeys, with basement and rounded dormer windows and has a very strong presence on the corner with Prince Arthur Street due to two bowed two storey windows.

Also present are two Category A listed churches. The first, St Mary's (Tartan Kirk), is a distinctive building of many differing colours,

St Mary's (Tartan Kirk), Carden Place



Albyn School link to modern extension, Forest Avenue



Albert Terrace



patterns and criss-cross sections of stone and slate. The second, Queen's Cross (Free) Church sits in a very prominent position at the focal point of five roads at the tip of the triangle that forms the character area.

Buildings are enclosed by low granite front boundary walls and a number of these have cast iron railings, or hedges. Rear lanes are used for access. In domestic premises garages and rear gardens are enclosed by high stone walls which remain mostly intact and large proportions have garage door openings built into the walls. Car parking for commercial premises has reduced or removed high walls to allow for greater visibility. The majority of commercial premises were not designed with a rear extension although some have had modest rear ones added. This has allowed for the original form and feature of many of the buildings to be retained.

The majority of buildings and terraces in the character area are individually listed with many have higher group listings. This is in recognition that their collective architectural and historical significance is even greater than their individual importance (Plans 1 and 2).

Plan 1 : Character area A, Listing Buildings

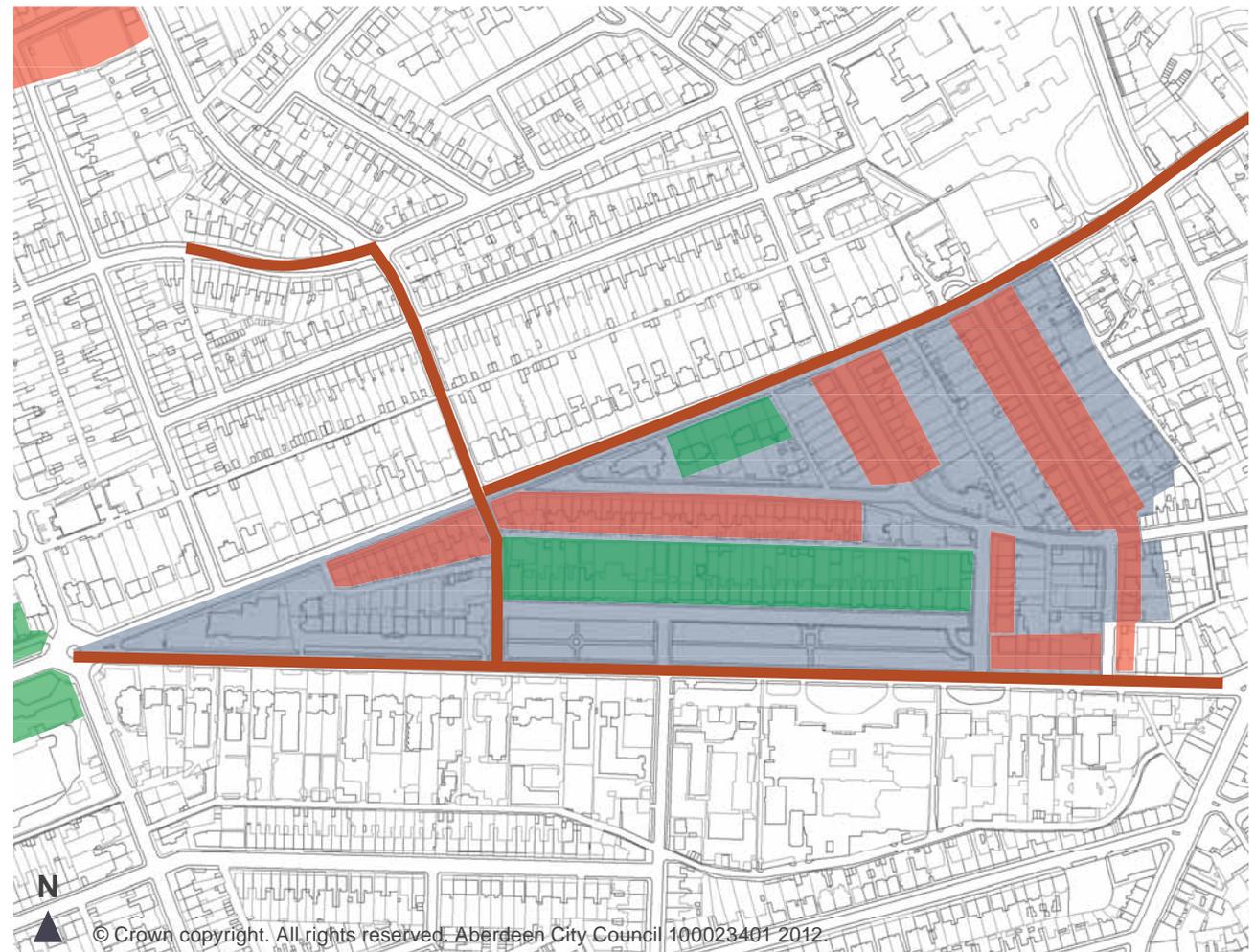


Key to listed building categories	
Red square	Category A
Green square	Category B
Yellow square	Category C



Top: Albyn Terrace  
Bottom: Rubislaw Den North

### Plan 2 : Character area A, Built Heritage



#### Key

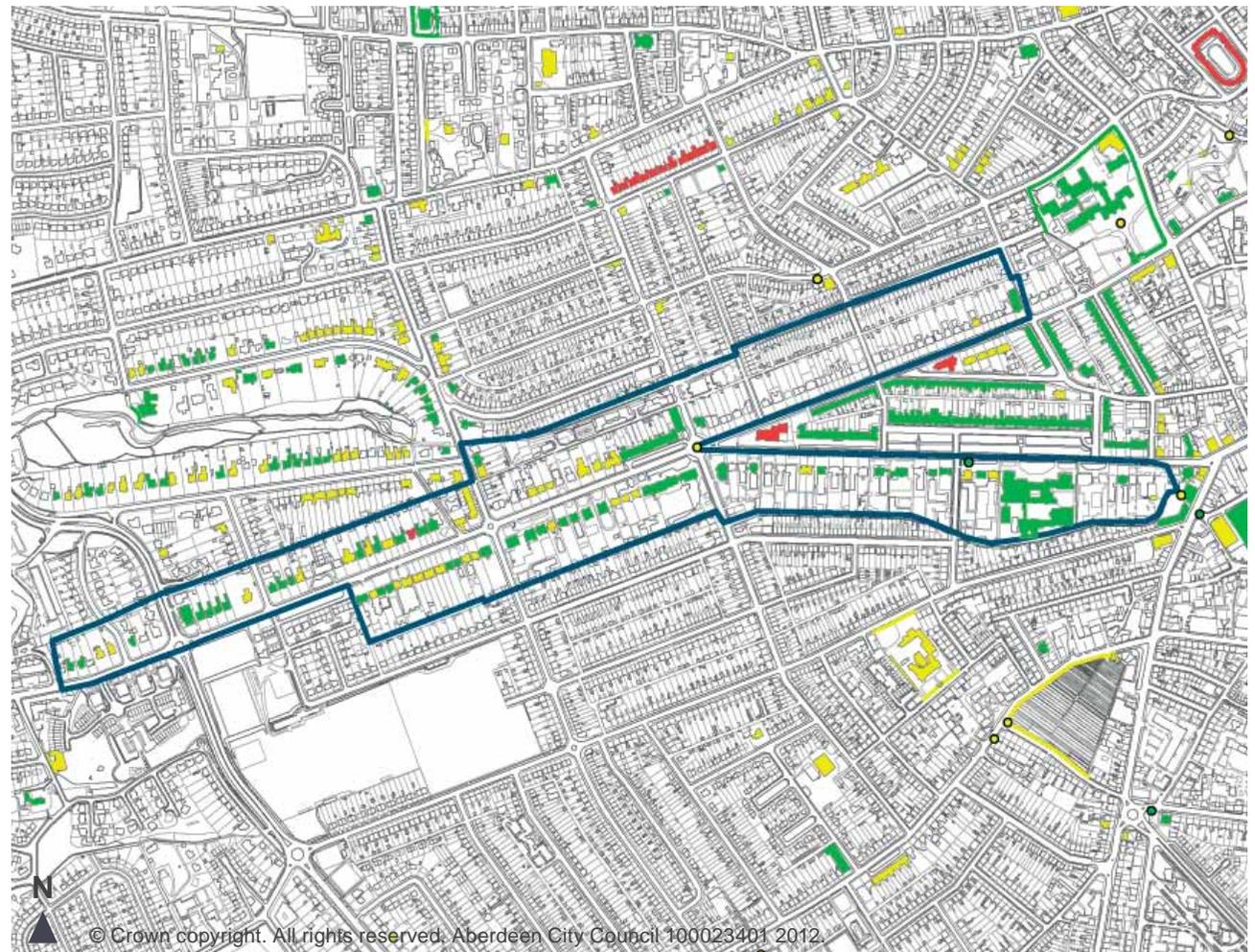
- Listed building Group category A
- Listed building Group category B
- Historic roads, pre 1828

## B | Queen's Road and the south side of Albyn Place

The buildings are typically detached of two storeys or three storeys with attic dormers although a number of semi-detached villas are present. Generally these relatively plain buildings, mostly built in a classical style, have minimal ornate detailing. The terrace of Queen's Garden, which has individually listed Category B buildings, has intricate detailing and features that are atypical of the area, such as cast iron balconies. Alongside the villas there are a number of institutions. The facades of the buildings are relatively unchanged however as many of the buildings are now used as commercial properties, There have been a number of additions, including rear extensions, rear car parking, signage and front car parking. The buildings within this area have a distinctive rhythm. The spaces between the buildings and the placement of the buildings within the plots are repeated, creating a regular flow. Alongside this, the buildings are symmetrical in form or, where in sets, is mirror image symmetrical, again compounding the rhythm.

The majority of the originally domestic buildings are large, detached and substantially built, covering two storeys or more. To the east the buildings along Albyn Place are more austere and plain fronted than those along Queen's Road. The buildings along Queen's Road are substantial and display bay windows, dormer windows and a number of more ornate features, such as motifs in the stone. The proportions of the buildings are grand and many feature large front doors with fanlights and sidelights that are accessed by steps or flyovers if basements are

Plan 3 : Character area B, Listed Buildings



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### Key to listed building categories

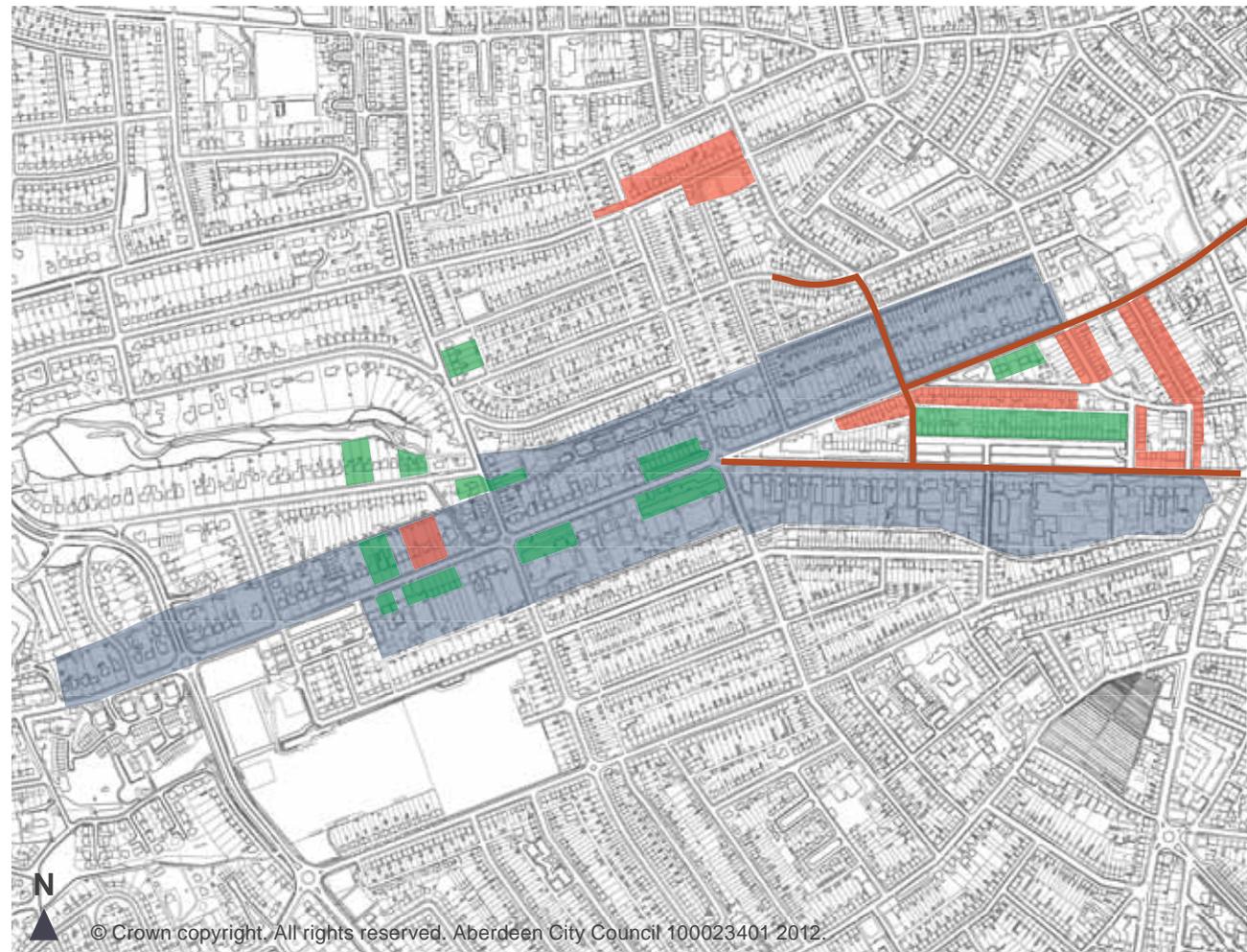
- Category A
- Category B
- Category C

present. There are 'sets' of identically designed buildings to the west of Queen's Road. Corner buildings within the character area are typically of a high standard. They follow the same design as the remainder of the street, but increase interest by erecting more detailed features.

There have been a number of back lane developments of existing coach houses or the creating of new premises. These have typically taken the form of two storey developments, which are usually accessed from Albyn Lane. The developments are mostly small, occupying approximately 90m<sup>2</sup> and have a business use. One development in this area has domestic use and comprises eight flats in a two storey block. There is one large back lane development of 600m<sup>2</sup> which is in business use. The property is accessed from Albyn Place and is a two storey, pink dry dash building.

Exemplar buildings include Harlaw Academy (19 Albyn Place) built as an orphanage for girls and it shows Aberdeen classicism at its most effective. 50 Queen's Road, incorporating many architectural styles, is a stark contrast to the classical, straight lined and austere elements of Harlaw Academy. Designed by Aberdeen architects Pirie & Clyne (1885-1887) the Grade A listed house is a two storey and attic villa, incorporating oversized angle turrets and oriel windows with decorative motifs in pink and grey granite.

Plan 4 : Character area B, Built Heritage



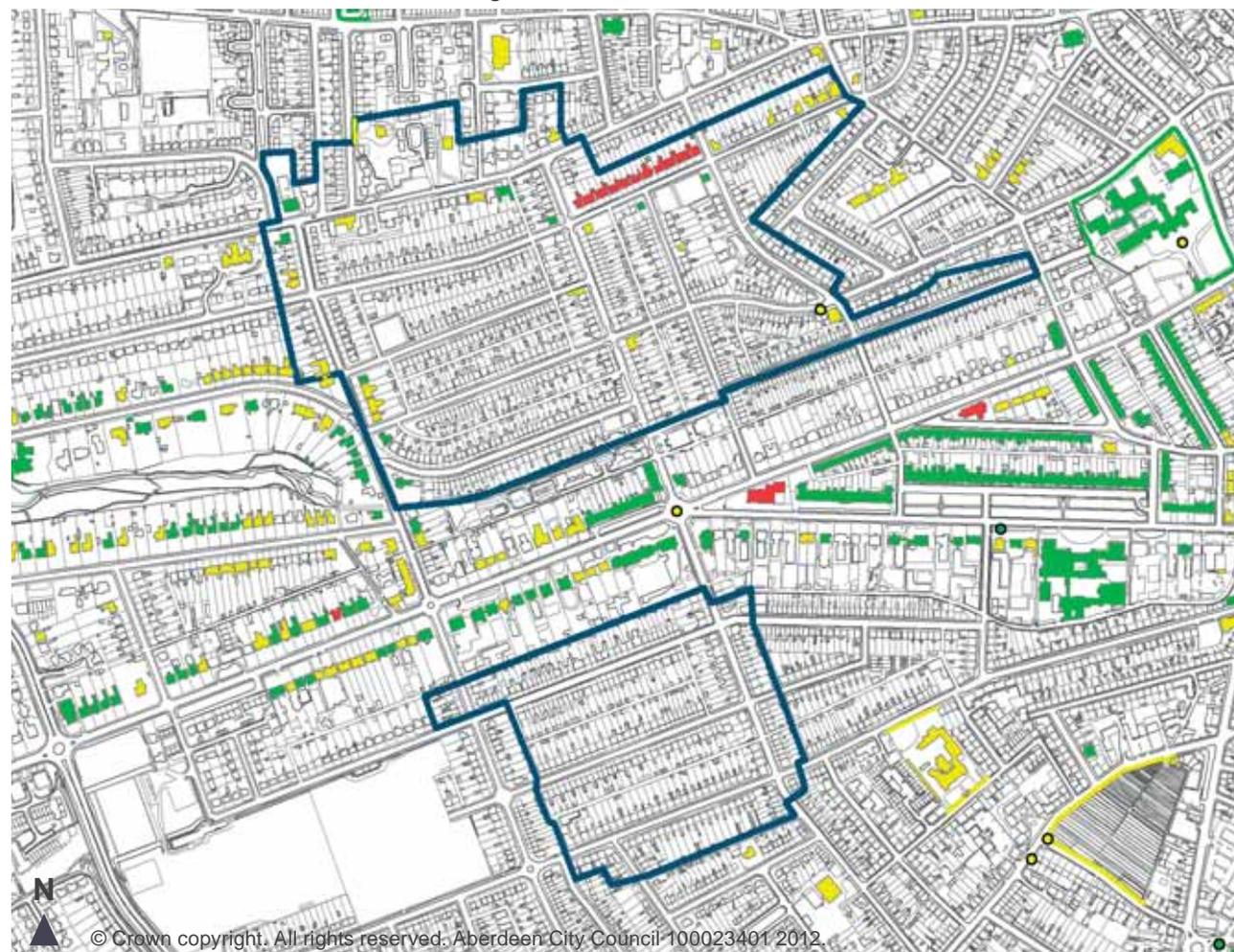
Key	
<span style="color: red;">■</span>	Listed building Group category A
<span style="color: green;">■</span>	Listed building Group category B
<span style="color: brown;">—</span>	Historic roads, pre 1828

**C | north and south of Queen' Road, but east of Rubislaw Den.** This area comprises near uniform asymmetrical terraces and semi detached villas, with the occasional villa. The houses are typically modest, two storeys and feature bay windows running over both floors. The bay windows have ornamental iron detailing and are often capped by their own roof. The doorways of the properties are broad, and a high proportion feature stained glass fanlights and sidelights. There are a number of interesting doorway features present including inbuilt porch detail and arched doorways. Again low granite front boundary walls are present in this character area, a feature which is present throughout the Conservation Area. This area has a distinctive rhythm due to the symmetrical nature of the buildings, the linear street pattern and the relationship between corner buildings.

The eastern section of Desswood Place and the eastern section of Hamilton Place break from the pattern described. The properties are more diverse and detailed with features such as ornate door lintels, gable ended buildings with curving roof features. The north side of Desswood Place is elevated from street level. Osborne Place comprises single storey terrace houses, topped with dormers, slightly emulating the Aberdeen cottage.

St Swithin Street features a number of properties of a plainer style than is typical of the area. Union Grove is distinctive as it comprises three storey terraced properties. The buildings are plain in styling but do feature broad doors with

Plan 5 : Character area C, Listed Buildings



Key	
<span style="color: red;">■</span>	Listed building Group category A
<span style="color: green;">■</span>	Listed building Group category B
<span style="color: orange;">■</span>	Historic roads, pre 1828

fanlights and sidelights. On the south side of the street the buildings have bay windows that run over all three floors on one side of the building.

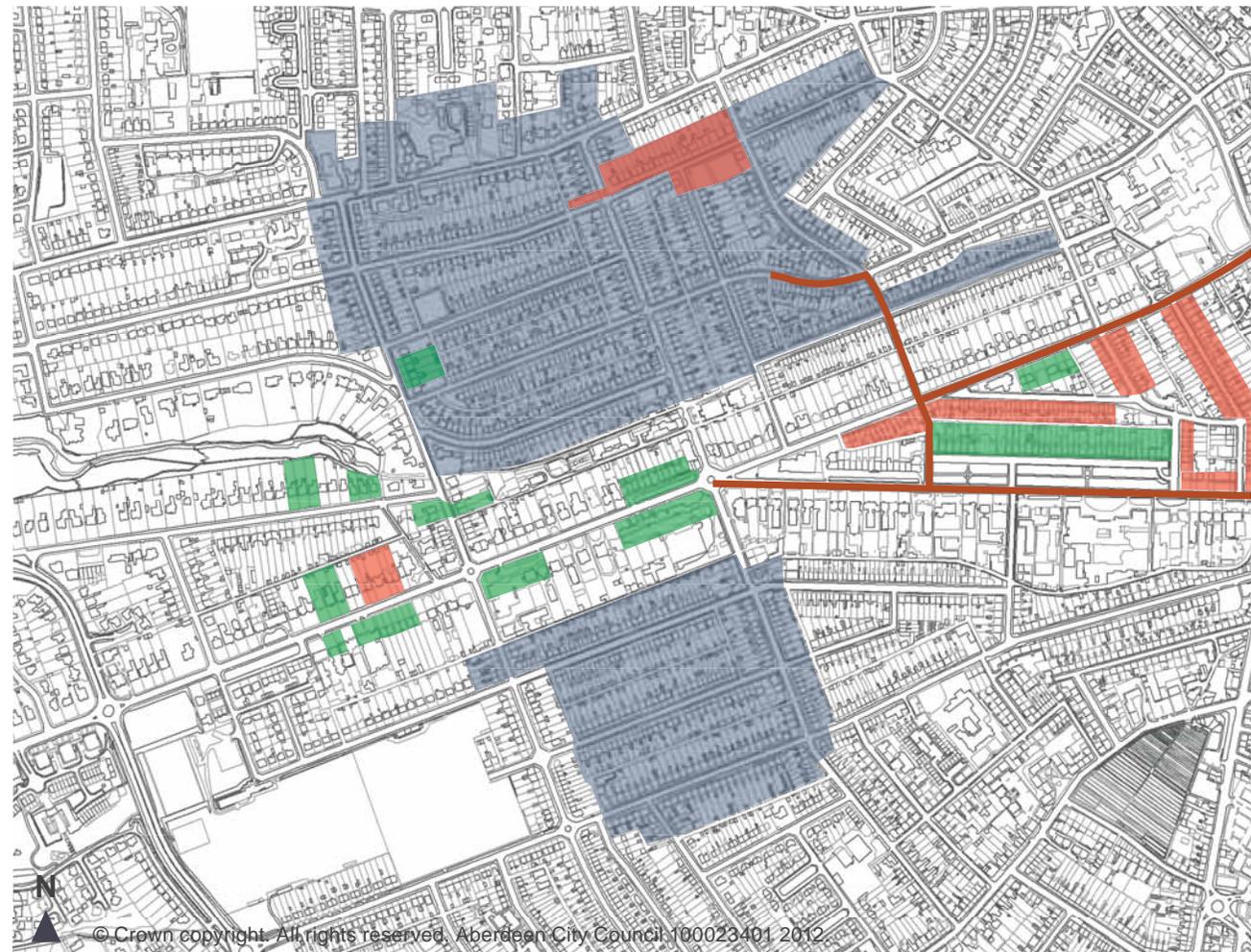
King's Gate and Forest Road and the southern end of Fountainhall Road possess buildings that are larger than typical. The majority are detached or semi-detached villas, yet display the features that are common through the character area. Alongside more fine detail with features on the roof line and front elevation such as 'fake gables', dormer and stonework detail.

There are a number of listed buildings in the northern section of character area C (Plan 1 page 18). Of these 130 Bleinheim Place, formally Fountainhall House forms one of the oldest buildings. Built in approx 1752 the property

2 to 6 Desswood Place



Plan 6 : Character area C, Built Heritage



**Key**

- Listed building Group category A
- Listed building Group category B
- Historic roads, pre 1828

follows the layout of the old routes of the Freedom Lands and as such now sits at a 45 degree angle to the adjoining property and the street.

The most striking set of properties within this character area comprises a set of 19 Category A listed buildings that run along the north side of Hamilton Place, between Whitehall Road and Fountainhall Road. Built in the late 1890 the large two storey semi-detached villas are rich in detail and follow a formula; symmetrical double villas of mirrored plan, with two gables to the attic and a parapet running between them. Each set of premises uses the same pattern, construction material, massing and a variation of the same decorative technique, but yet each set is distinctive.

2-3 Desswood Place/13 Whitehall Road occupies an important site at the corner of Desswood Place and Whitehall Road and makes a particularly positive contribution to the character area. Two storeys with dormers, this premises occupies a triangular plot, which is reflected in its form. It is distinctive from the buildings which surround it due to its Arts and Crafts influence in the styling and the very prominent and detailed gable. Further buildings which are of interest are both located within Blenheim Lane. On the north east side close to the turn in the lane sits 4 Blenheim Lane. The building is a chauffeur's mews, set back from the build line of the lane. The course granite rubble one and a half storey building sits with its gable to the lane and in front is a timber with corrugated iron roof carport (Brodgen

1986). Abutting this to the north is a large, two storey coursed granite rubble building which sits gable to the lane with a hayloft and hook.

Again the corner buildings in the area add interest and detail and are typically of a high standard. One modern development which does not follow this pattern is an office development to the south of Fountainhall Road. It does not follow the building line of the street, sits further back from the road than the remainder of the street and presents itself with its car park first. The positioning of the development does allow for views of the original corner building on the north side of the junction between Fountainhall Road and the back lane which runs east to west.

The non-residential buildings in the area are present on the ground floor of terraced blocks and are typically on the corners of streets.



Backland lane to Carlton Place

**D | Rubislaw Den area.** The area comprises substantial detached houses, typically set within large grounds which run along Rubislaw Den North and South. The houses are late 19th and early 20th century and were developed by the prominent architects of the time who were often employed to produce daring and unique designs to reflect the prosperity and personality of clients. The buildings are imposing, two or three storeys, and set back far from the road with an area of courtyard to the front. Features which are present that continue the theme of the Conservation Area include the use of bay windows, wide doors with fanlights and side lights, low granite boundary walls, stringcourse detailing, cast iron down pipes and guttering and a high degree of vegetation in the front gardens

Plan 7 : Character area D, Listed Buildings



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**Key**

- Listed building Group category A
- Listed building Group category B
- Historic roads, pre 1828

Rubislaw Den South





Top : Queens Road  
 Bottom : Queens Lane North

Plan 8 : Character area D, Built Heritage

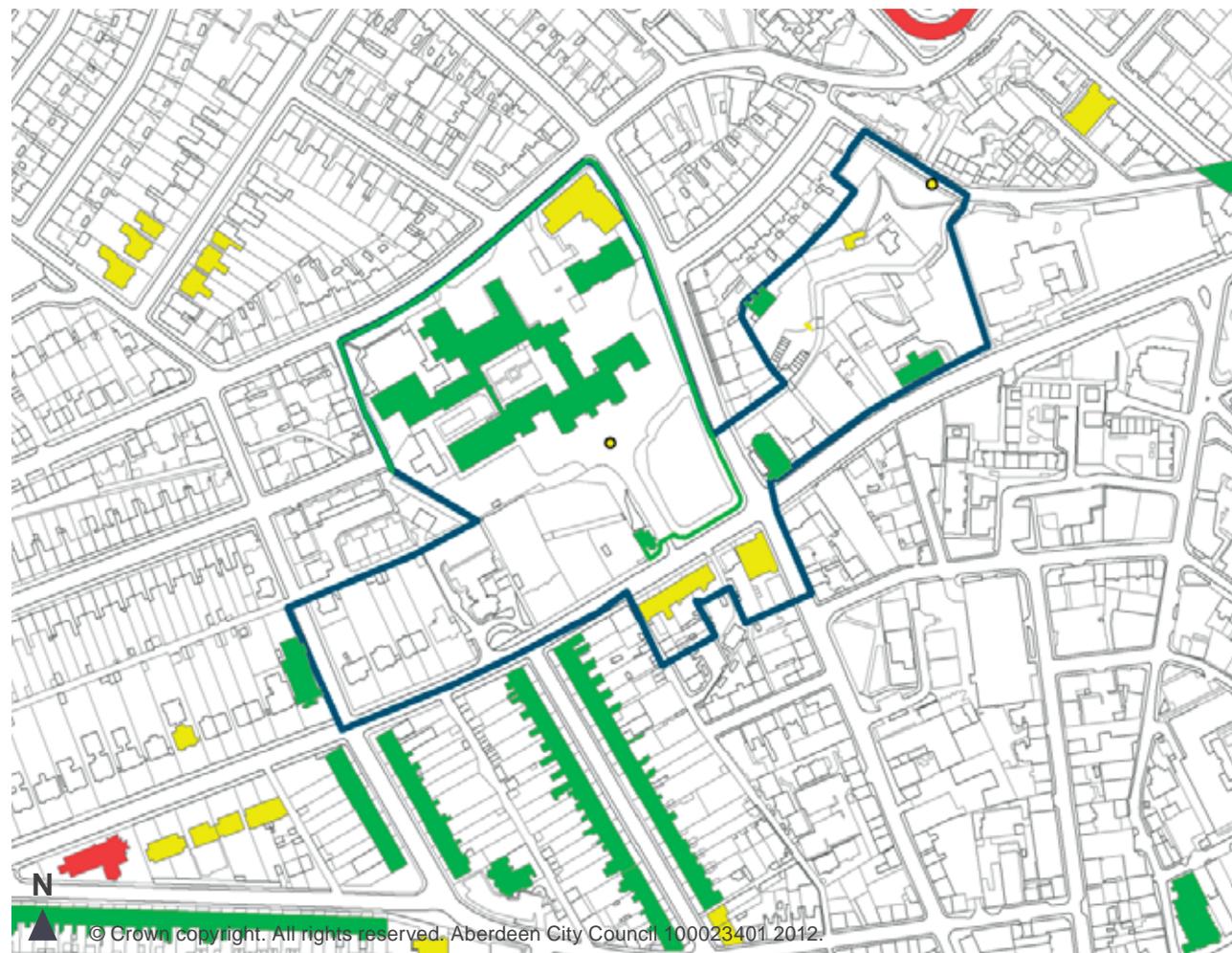


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Key	
<span style="color: red;">■</span>	Listed building Group category A
<span style="color: green;">■</span>	Listed building Group category B
<span style="color: orange;">■</span>	Historic roads, pre 1828

**E | Mackie Place.** Within this character area there are a small number of buildings. The largest of these is the Grammar School, followed by the Former Melville Church on Skene Street. The remainder of the buildings are few and far between and are residential. They consist of a mixture of terraced blocks, semi detached premises and cottages. The buildings accessed off Mackie Place sit within the valley of the Denburn and are contained within an undulating area of informal open space. Although not regular in street layout the buildings are of a similar height, mostly three storeys, with the cottages appearing to the one storey smaller on the front elevation due to the nature of the landscape.

Plan 9 : Character area E, Listed Buildings

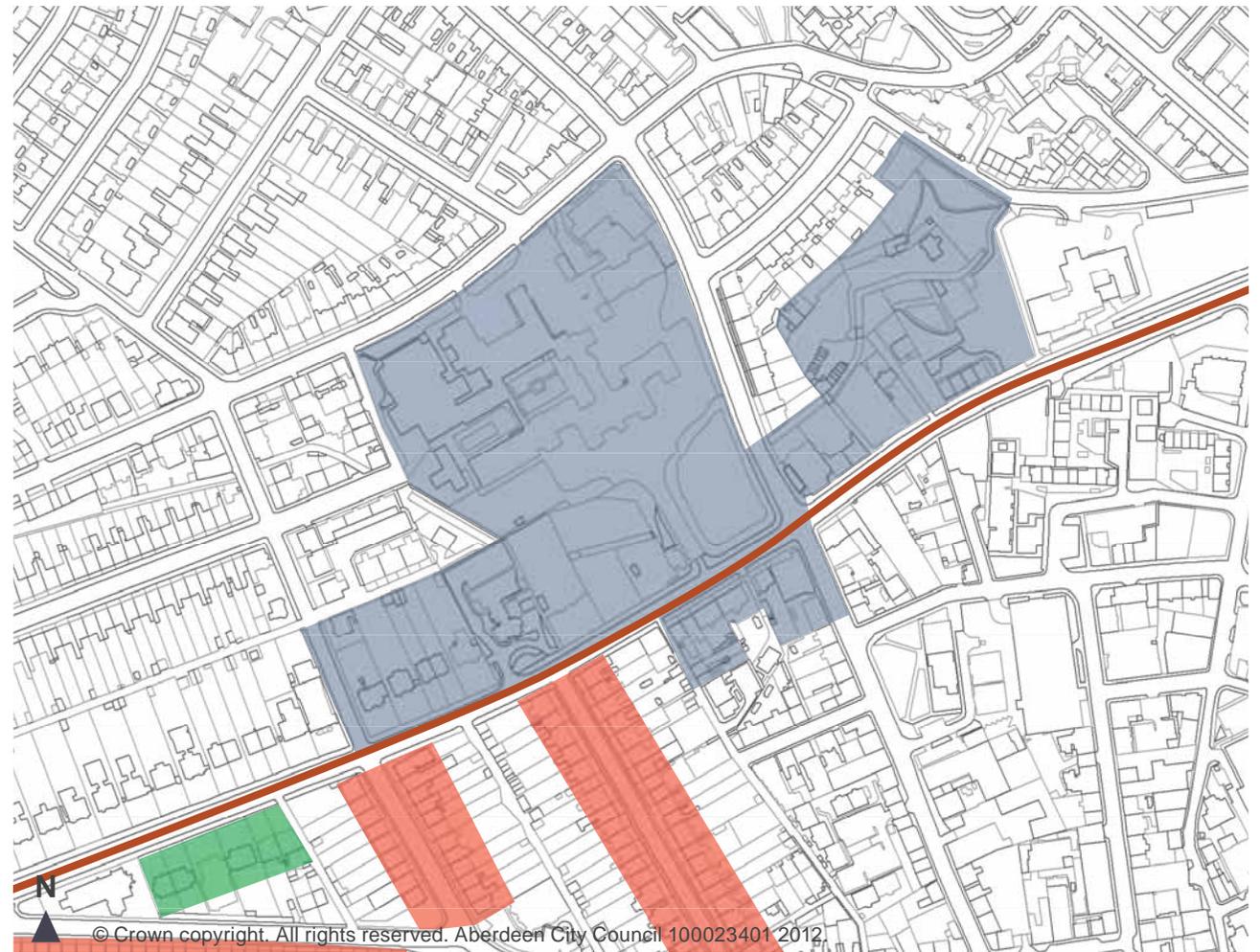
**Key**

- Listed building Group category A
- Listed building Group category B
- Historic roads, pre 1828



Top : Gatehouse to Aberdeen Grammer School, Skene Street  
 Bottom 174-175 Skene Street

Plan 10 : Character area E, Built Heritage



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Key	
<span style="color: red;">■</span>	Listed building Group category A
<span style="color: green;">■</span>	Listed building Group category B
<span style="color: orange;">—</span>	Historic roads, pre 1828

### 3.2.2 Materials

Within the Conservation Area as a whole the materials used are granite, both course and ashlar. Although the majority of the buildings are constructed of grey granite, there are concentrations of buildings of mixed pink and grey and solely pink granite. Coursed rubble is also present in residential buildings. Detailing is achieved through differing coloured grey granite and ridge line detailing or through ornamental detailing such as scroll patterns on gables and boundary walls.

The roof material is typically slate. Windows are white painted timber sash and case for the most part with iron framed windows within some institutional buildings. Cast iron is featured through the use of railings separating the street from front gardens, on guttering and down pipes, and on roof and dormer window features.



Top : Pink granite, Victoria Street  
Bottom : Slate and stonework decoration, Osborne Place

Top : Sash and case dormer windows, Albert Terrace  
Bottom : Cast ironwork, Queen's Gardens

### 3.2.3 Orientation / building lines / heights

#### **A | Albyn Place; Carden Place; Albert Terrace and Victoria Street.**

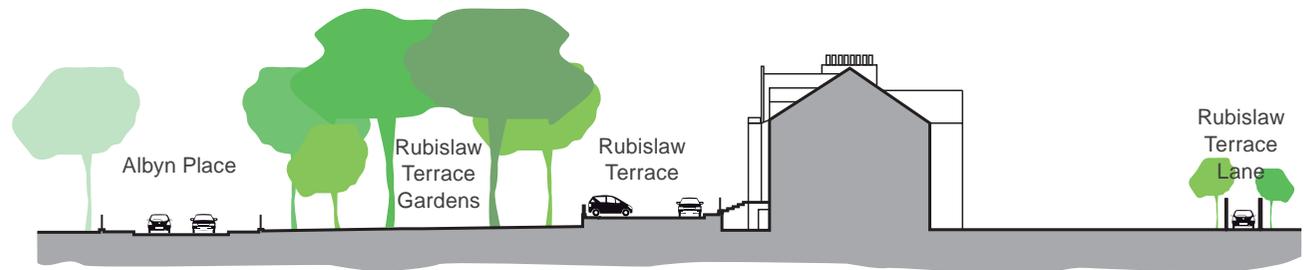
The development pattern in the area is structured and linear, with main thoroughfares and back lanes running east to west, cross sectioned with those running north to south. The style of properties and the density ensures there is a strong urban form. Corner buildings are typically of a high standard following the same design as the remainder of the street, but increase interest by the use of more detailed features. The buildings are all set back from the pavement either with small front gardens, flyovers and steps. The building line in the area is approximately 3m from the pavement with the exception of the properties to the east of St Mary's Episcopal Church, which mirror those on the opposite side of the street, and are 15m from the pavement. The character area is very flat and only changes in gradient by 5 meters. The streets are wide with Albert Terrace and Victoria Street being 12.5m and 12.8m respectively from boundary wall to boundary wall. While Rubislaw Terrace is nearly 14m, Waverly Place 14m, and Rubislaw Place is over 15m pavement to pavement. The back lanes are approximately 5m in width.



Single storey with dormers, Victoria Street



3.5 story townhouses, Queen's Terrace



Street cross section through Rubislaw Terrace

Plan 11 : Character area A, Urban Form Plan



**B | Queen's Road and the south side of Albyn Place.** The buildings within the street are typically detached, set back from the road with a front garden or courtyard area behind a low lying granite wall. The buildings on Carden Place sit on a 15m building line, while Albyn Place is 18m. The building line on the north side of Queen's Road starts at 15m and grows to 20m. On the south side of Queen's Road the building line is 22m. The main thoroughfare of the whole Conservation Area runs from east to west, the buildings therefore face north and south.

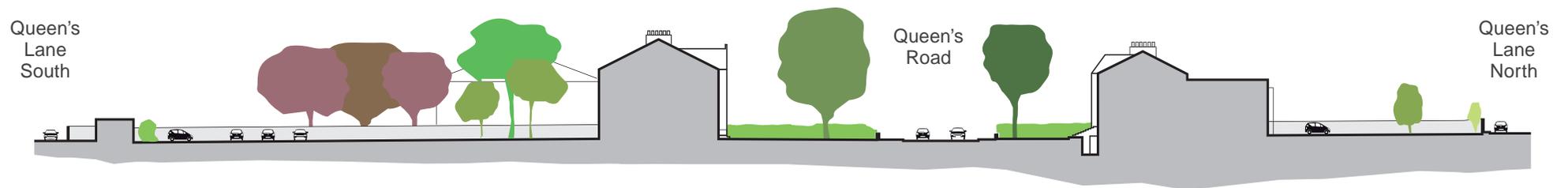
Character area B rises from 30m at its lowest point at the eastern edge of Albyn Place to a height of 70m to the rear of the 118/120 Queens Road. As this height difference covers a length of nearly 2 kilometres it is relatively unnoticeable. The streets within are all very wide, from pavement to pavement with Albyn Place being 14m, Carden Place 16m, and Queens Road 17m. Back lanes in the area are paved along one side and are usually 5m in width.



Queen's Road

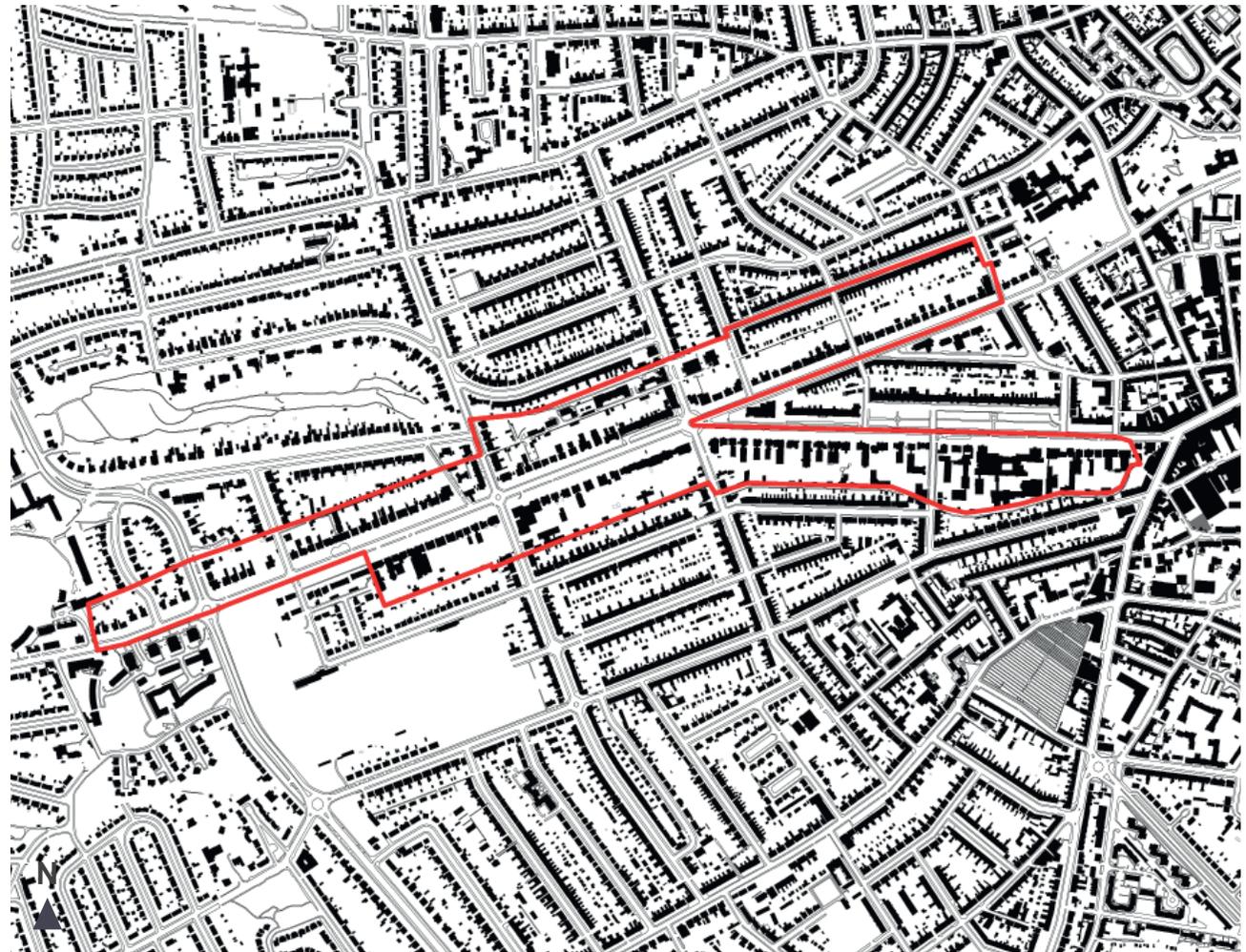


Carden Place



Street cross section through Queen's Road

Plan 12 : Character area B, Urban Form Plan



**C | north and south of Queen’s Road, but east of Rubislaw Den.** Typically terraced or semi-detached properties set back from the pavement by a low granite wall. The building line ranges from 6m to 8m. The buildings in the southern section of the character area are slightly smaller than those to the north. The majority of the streets run east to west, therefore the majority of the buildings face north or south. Corner buildings follow the same design as the remainder of the street but increase interest by erecting more detailed features. As the character area sits in the steepest part of the Conservation Area, the gradient is more noticeable, rising to 65m on King’s Gate to 35m on Union Grove. The streets in this area are mostly 15m from pavement to pavement, with the back lanes sitting at 6m wide.



Devonshire Road



Street cross section through Deswood Place



Top : Kings Gate  
Bottom : Forest Road

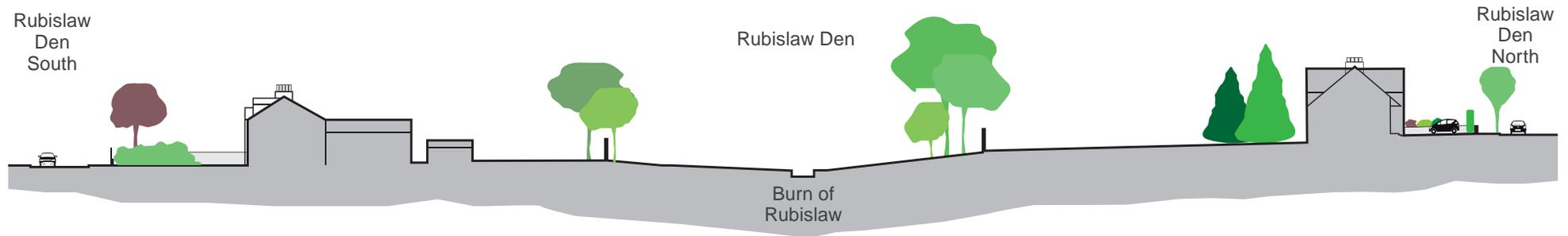
Plan 13 : Character area C, Urban Form Plan



**D | Rubislaw Den area.** The buildings along Rubislaw Den North and Rubislaw Den South are north and south facing, while those on Anderson Drive face east and west. The buildings sit back from the streets although the build line of Rubislaw Den South is noticeably deeper than the rest of the Conservation Area at 21m, while the south side of Rubislaw Den North and Anderson Drive are both 12m with the north side of Rubislaw Den South being 10m. Rubislaw Den North and South continue the 15m pavement to pavement width of street, while Anderson Drive is 25m wide.



Rubislaw Den South



Street cross section from Rubislaw Den South to Rubislaw Den North



Top : Anderson Drive  
Bottom : Rubislaw Den North

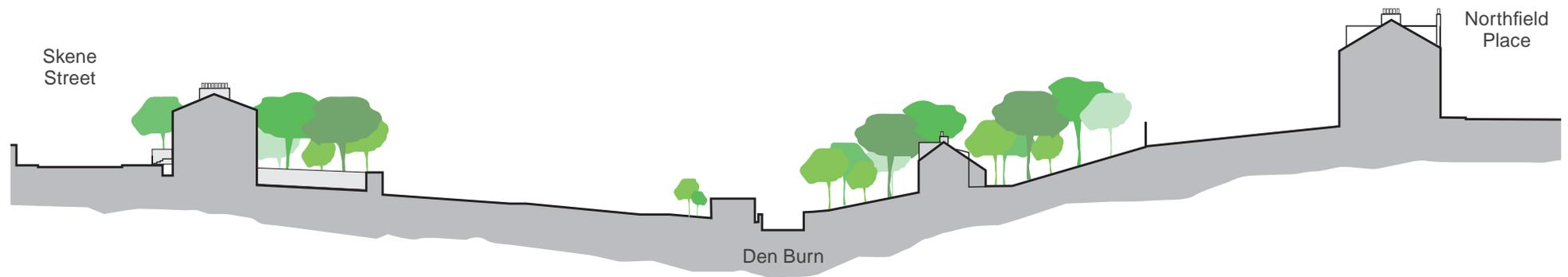
Plan 14 : Character area D, Urban Form Plan



**E | Mackie Place.** Properties on Skene Street face the street, whilst the collection of premises in Mackie Place is assembled to follow the landform. The buildings are rather substantial in form, including the cottages. Carden Place is 16m wide and Mackie Place ranges from 3m to nearly 7m wide. There is no set building line within this area. The Grammar School is nearly 100m from the street, while the former Melville Church and row of terrace houses are built up to the pavement. The row of four dwellings on Skene Place sits just over 2m from the pavement, while the dwellings in Mackie Place are orientated within the landscape.



Skene Place



Street cross section through the Denburn Valley



Top : Skene Street  
Bottom : Aberdeen Grammar School, Skene Street

Plan 15 : Character area E, Urban Form Plan



### 3.2.4 Uses

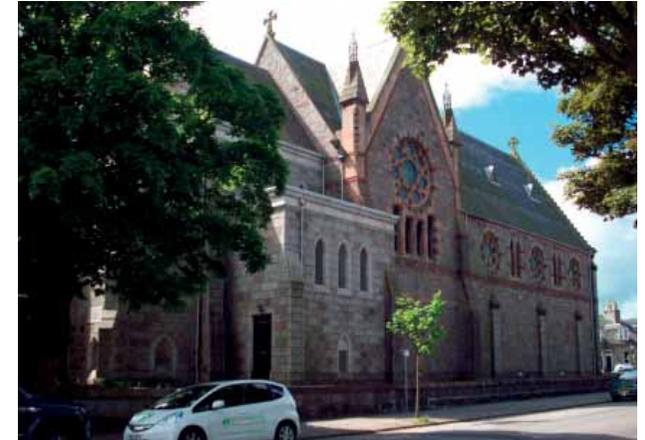
**A | Albyn Place; Carden Place; Albert Terrace and Victoria Street.** The streets within the character area split quite distinctively into residential and commercial use, with the two churches continuing their institutional use. Victoria Street, Albert Terrace and the south section of Carden Place are residential, while all other streets within the area fall into commercial use and are zoned within the West End Office Area.

**B | Queen's Road and the south side of Albyn Place.** The area has a predominantly commercial use, focussing on professional and financial services, health practitioners, hotel use, institutions and schools. The majority of the area is zoned under the West End Office Area, which promotes commercial enterprise in the area. This has led to a change in the layout of many of the forecourts and back garden areas, which have been turned into car parking spaces or now accommodate large rear extensions. There have also been a large number of signs erected in the area to advertise business premises. Some of these fit well through their use of material, scale and siting. There are residential dwellings to the west of the character area. There is a night time economy within this area from the hotels, hostel, restaurants' and bars.

**C | north and south of Queen's Road, but east of Rubislaw Den.** The area is predominantly residential. There are, however, a number of other uses to the southern end of Fountainhall Road and to the south end of St. Swithin Street. These include a selection of convenience stores, and shops with a more specialist use, a church and an office development.

**D | Rubislaw Den area.** The premises are residential.

**E | Mackie Place.** The highest percentage of uses within the area is residential. However, the Grammar School has an institutional function and there are a number of small retail/business premises on the ground floor of Skene Street.



Top : St Mary's (Tartan Kirk), Albert Terrace  
Bottom : Albyn Place



Top : Rubislaw Terrace Lane rear car parking  
Bottom : Queen's Lane South

### 3.2.5 Negative factors/Issues

General built environment negative features include the removal of timber sash and case windows and the replacement of these with inappropriately designed thick framed uPVC windows. The inappropriate placement of satellite dishes and burglar alarms is also a concern.

#### **A | Albyn Place; Carden Place; Albert**

**Terrace and Victoria Street.** There is an issue with the removal of garden space/trees and an altering of the form of the area due to back lane developments of the commercial premises on Rubislaw Terrace. A number of premises have erected rear extensions reducing the garden size of the premises, and a number have been turned into car parking.

#### **B | Queen's Road and the south side of**

**Albyn Place.** Due to the nature of this character area, as a predominately commercial area which promotes commercial development there are features which cause friction within the Conservation Area. A unique feature of the original residential dwelling houses was the large garden space. These areas have now been developed into rear car parking or additional office space through the erection of rear extensions. This has eroded a large part of the original green space within the area. The office extensions are typically substantial as companies try to maximise office accommodation. To the front, in order to advertise their presence, commercial premises have erected signage. Some of these are not in keeping with the Conservation Area in terms

of material used, scale, positioning. Further additions include the development of car parking in the front garden. This has in cases removed a proportion of green space within the character area. A number of commercial back land developments have also taken place within this character area, most prominently from buildings accessed off Albyn Lane.

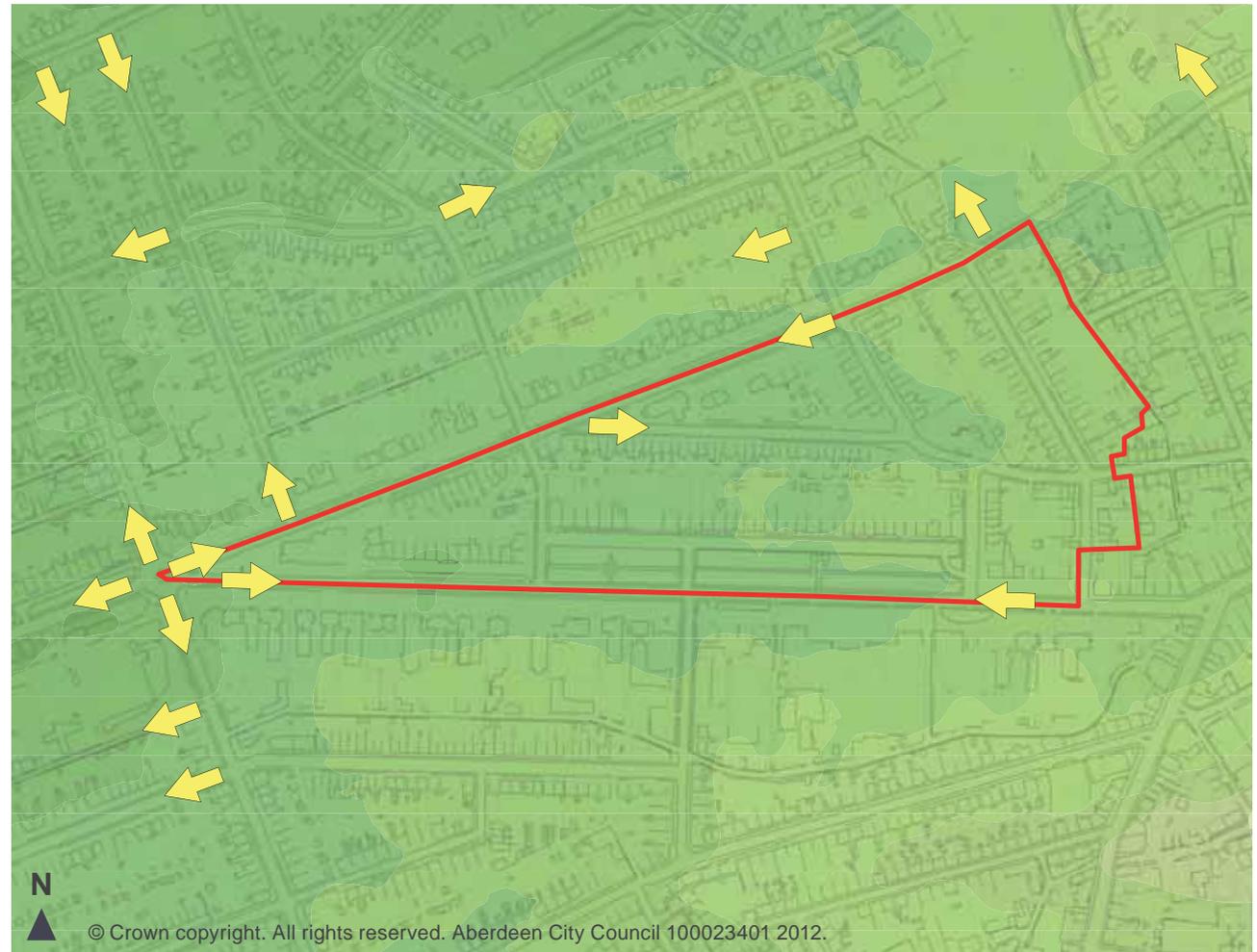
### 3.3 Public realm

#### 3.3.1 Views/vistas/glimpses

The linear nature of the streetscape allows for long views and vistas along the length of streets, and back lanes where these are present.

**A | Albyn Place; Carden Place; Albert Terrace and Victoria Street.** The views follow the streets, with views along Carden Place, Albyn Place, Albert Terrace, Victoria Street and Rubislaw Terrace. There are also long views along the formal gardens.

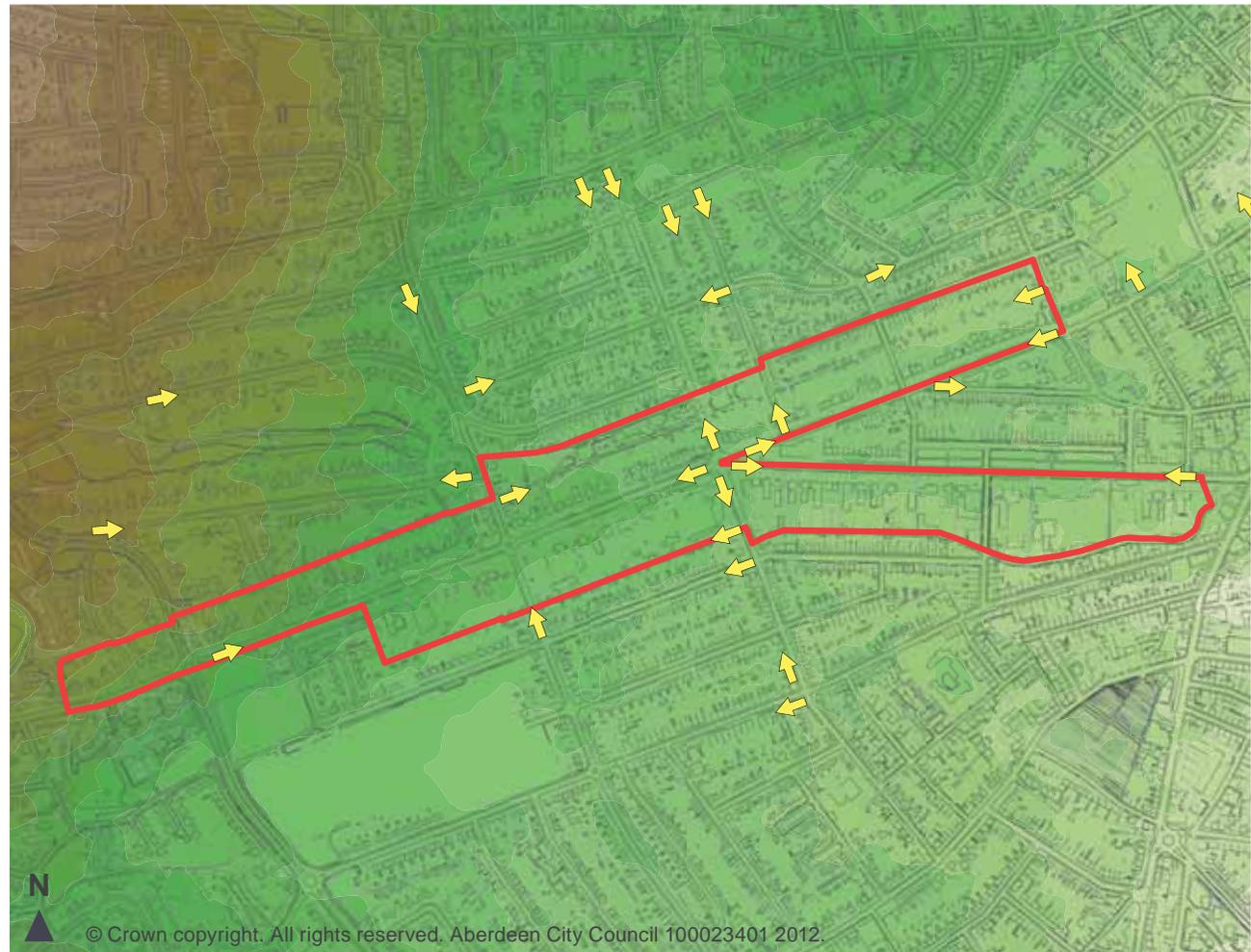
Plan 16 : Character area A, Townscape Analysis



**Key**  
➡ Vistas and street views

**B | Queen's Road and the south side of Albyn Place.** A prominent focal point is the roundabout at Queen's Cross, an accumulation of five streets, atop of which sits a statue of Queen Victoria. Many of the corner buildings act as focal points and, due to the linear nature of the streets, create a break in the vista. The most distinctive of these is Rubislaw Church, built by J Russell Mackenzie in 1874, which is unusual for Aberdeen due to its sandstone construction.

Plan 17 : Character area B, Townscape Analysis

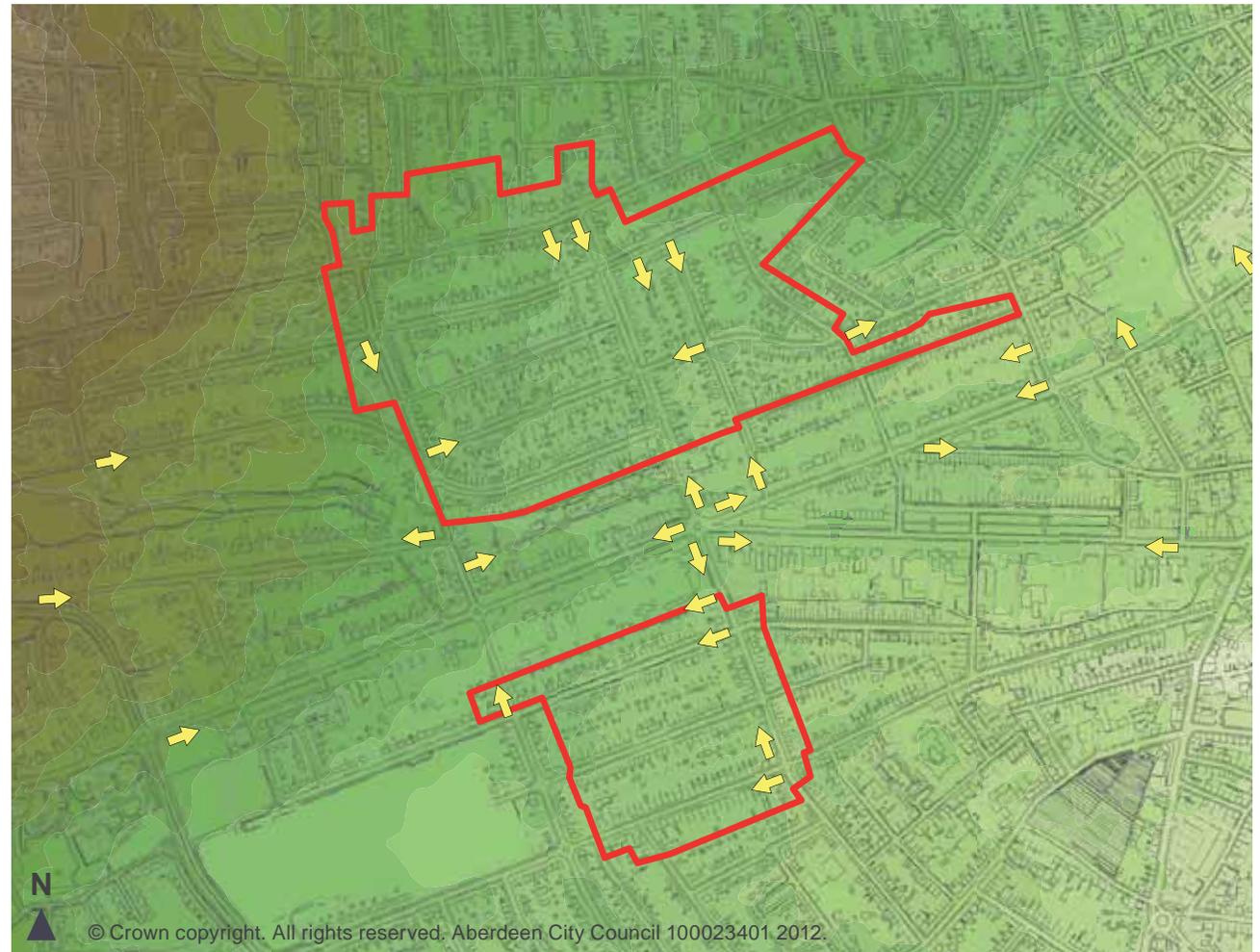


**Key**

➔ Vistas and street views

**C | north and south of Queen's Road, but east of Rubislaw Den.** The character area rises to take in the highest part of the Conservation Area. Due to the streetscape and the elevated level of this character area, there are long views that culminate down Blenheim Place on the Queen's Cross Church and down Fountainhall Road on Rubislaw Church. The back lanes in the area, especially Albert Lane, allow for very long views through the character area. From St Swithin Street it is possible to look well beyond the Conservation Area and down onto prominent buildings on Great Western Road, including Holburn West Church.

Plan 18 : Character area C, Townscape Analysis

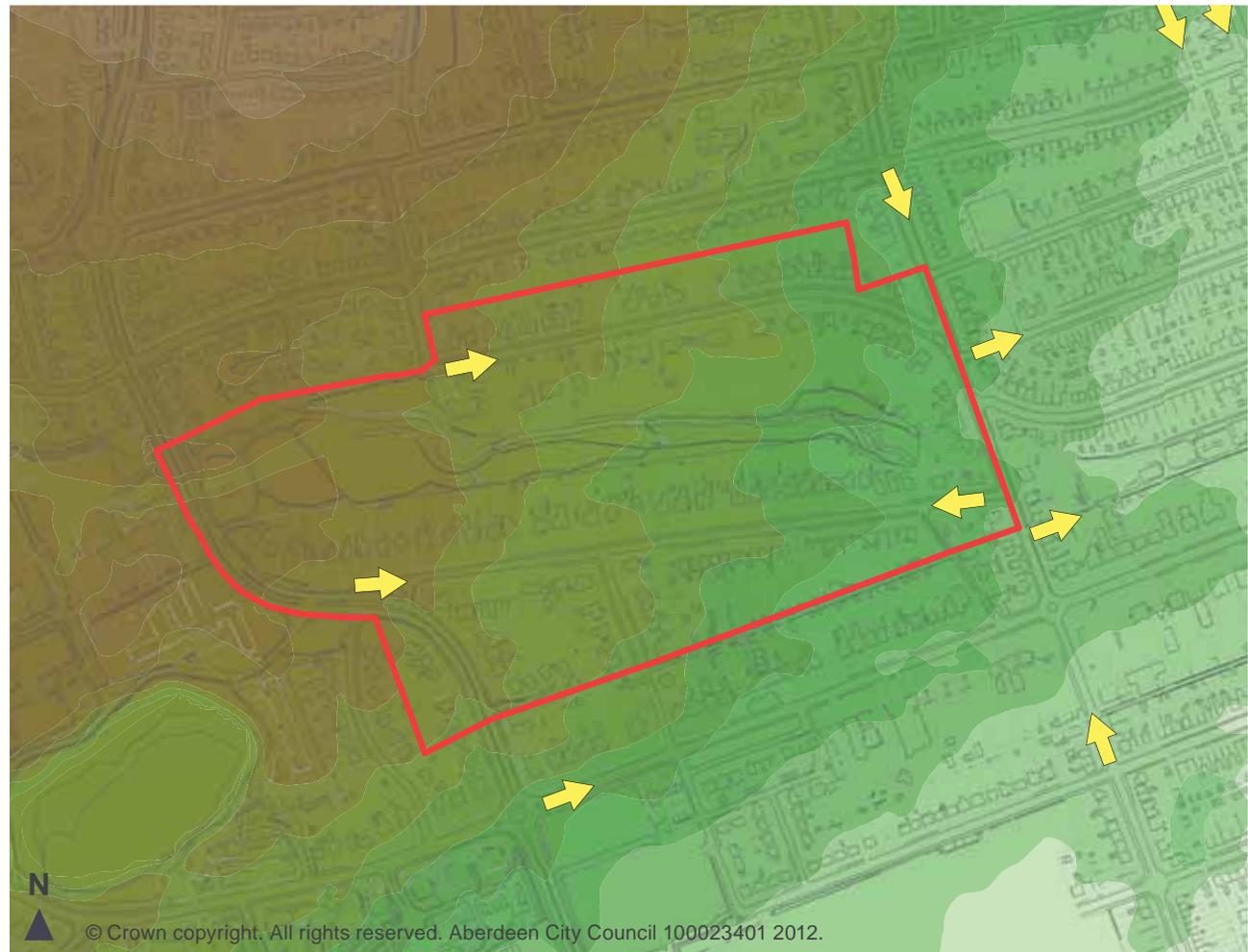


**Key**

➔ Vistas and street views

**D | Rubislaw Den area.** Views are the length of the streets. There is a small rise within Rubislaw Den North, but this does not hinder the long vista.

Plan 19 : Character area D, Townscape Analysis

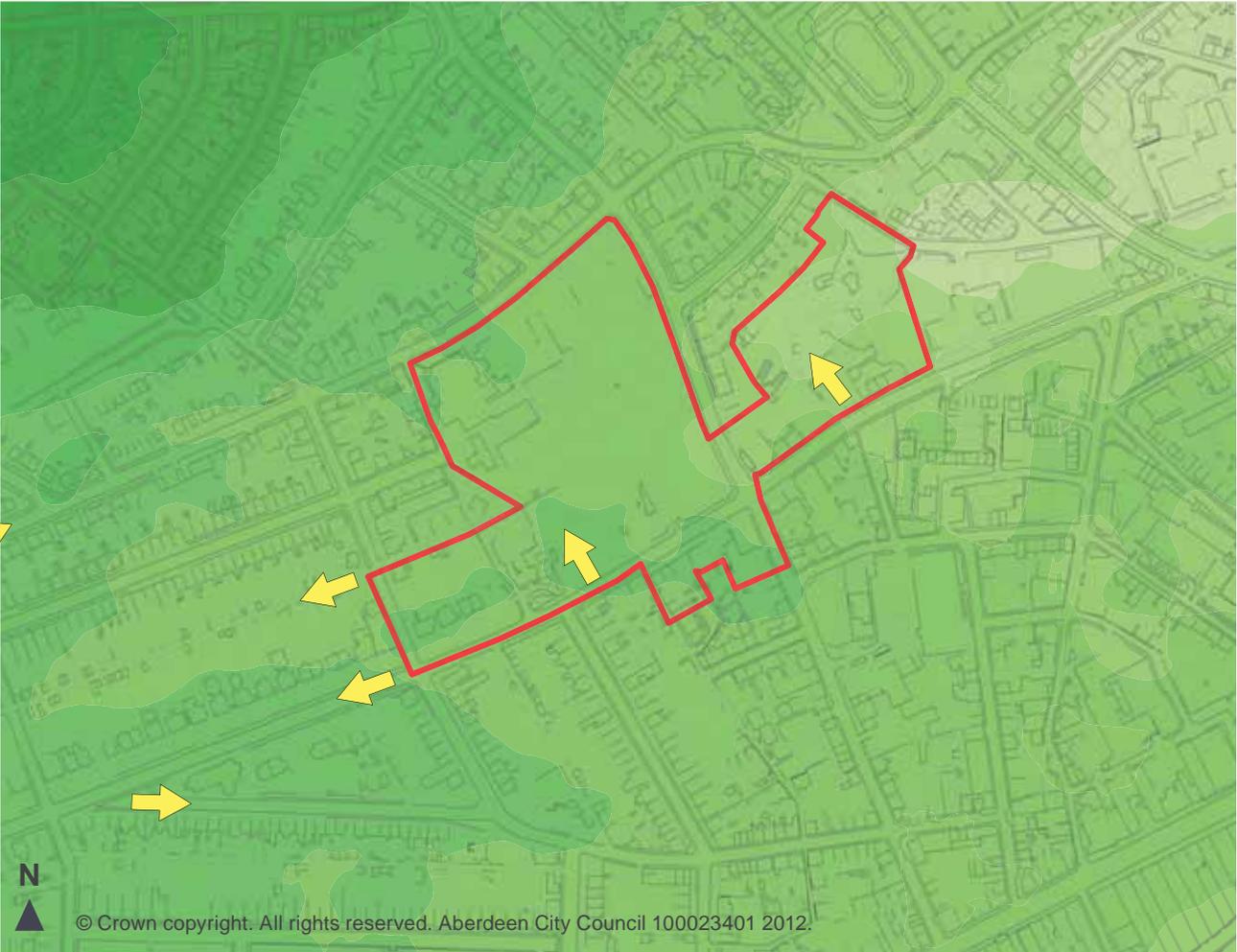


**Key**

➔ Vistas and street views

**E | Mackie Place.** The views present within this character area are a contrast to the remainder of the Conservation Area as they small scale due to the undulating topography of the area.

Plan 20 : Character area E, Townscape Analysis



**Key**  
➔ Vistas and street views

## 3.3.2 Roads

**A | Albyn Place; Carden Place; Albert Terrace and Victoria Street.** As the area was deliberately planned, it follows a structured pattern. The majority of streets in the area are tarred, with the exception being Albert Terrace which remains a setted street. Pedestrian movement is high at peak times and lunch time. Pedestrian and vehicle movement is concentrated on the main east to west thoroughfare of Carden Place, and on the north-south access route of Albert Terrace and Waverly Place. Car parking in residential areas is on street. There is the occasional off street car parking place on Victoria Street created by removing low granite boundary walls, which disrupts the flow and pattern of the area. The commercial properties that sit on Rubislaw Terrace and Queen's Terrace are accessed to the rear by Rubislaw Terrace Lane. The north side of the lane backs to the residential street of Albert Terrace and comprises a high stone coursed rubble wall with pedestrian access gates and single storey garages in a variety of materials and styles. The south side of the lane is more heavily developed with the removal of large sections of the high boundary wall to provide access to car parking to the rear of the premises on Rubislaw Terrace and Queen's Terrace. The openings are typically wide to provide greater visibility, thereby removing large amounts of the wall. To the east side of the lane the physical environment changes slightly. Ancillary two storey buildings are more typical, on both the north and south side of the lane. These are used as storage space and, on the south side of the street, an office premise is present.

Plan 21 : Activity and movement through the conservation area



The main thoroughfare runs east to west - Albyn Place, and Carden Place (B9119) which meet at the Queen's Gate roundabout merge into Queen's Road (B9119). The vehicle traffic is constant throughout the day on these three streets as the roads form one of the main routes through the city. North to south access to the character area is taken from Anderson Drive (A90), a dual carriageway which forms one of the main vehicles routes round Aberdeen. Further vehicle access is concentrated on the Queen's Cross and Queen's Gate roundabouts. These streets are busy with pedestrian and vehicle traffic during the day. Pedestrians also use the back lanes in this area. Parking is present both on and off street in the area. The rear lanes, Albert Lane and Albyn Lane, are dominated by car parking and, especially in Albyn Lane, large rear extensions. The boundary walls are high, stone rubble. Large sections of the high boundary walls have been removed to provide access to car parking to the rear. There are also garage door and outbuildings present in the lane.

**C | north and south of Queen's Road, but east of Rubislaw Den.** The majority of streets within the character area run east to west and the most heavily trafficked with vehicles and pedestrians are King's Gate and Union Grove. Of the five streets which run north to south Fountainhall Road, Forest Road and St Swithin Street seem the most heavily trafficked with pedestrians and vehicles. This is probably due to access to the Queen's Cross roundabout which is a major transport hub within the Conservation

Area and is used heavily throughout the day.

Parking within the area takes the form of on street parking to the front of properties and rear access to garages off back lanes. The back lanes typically comprise high boundary walls built of coursed or rubble stone, topped with brick or coping stones. There are a number of garage styles and forms but most are modest in scale and built of stone, granite or brick with low pitched or mono-pitched roofs. The garages have either slate or asbestos roof coverings. The garages are typically neat and small in proportion. The back lanes show a high degree of vegetation which overfills from the back gardens of properties.

**D | Rubislaw Den area.** The streets within the area are very wide and tree lined. The busiest street for vehicle traffic is the dual carriageway Anderson Drive (A90) which sits to the west. The road is one of the main thoroughfares in Aberdeen and therefore is heavily trafficked throughout the day. A further east to west street which is busy with pedestrian traffic during lunch periods, when compared to a typically residential street, is Rubislaw Den South. This is possibly due to the large office developments which sits outwith the Conservation Area to the west. Parking in the area is both on and off street. There is ample parking at residential dwellings and off street parking is available.

**E | Mackie Place.** Carden Place runs along the front of the Grammar School and is heavily used by both pedestrian and vehicle traffic. This street does allow for long views along Carden Place

and beyond the Conservation Area. From the west of the Grammar School and from Mackie Place there are views into a number of open space areas, which show the natural landscape formation and the undulating nature of the natural landscape of Aberdeen. Parking is both on and off street, with large areas of parking surrounding the buildings of Mackie Place.

### 3.3.3 Pavements

The streets within the Conservation Area are wide, tree lined and typically paved with concrete slabs. Victoria Street and Albert Terrace are exceptions as they are paved with large granite slabs in a multitude of pinks and greys. The kerbstone throughout is typically granite. On the east side of Forest Road there is an interesting pavement detail which consists of a pink granite kerb, followed by rows of setts three deep which sit on the road abutting the pavement. The setts detail is found throughout the Conservation Area. On Kings Gate there is an increase to a row of five setts and a modern interpretation can be found on the corner where Fountainhall Road and Desswood Place meet. The setts are also used to larger detail in Rubislaw Den South and on the east side of Forest Road, where larger numbers are present and are used on the pavement rather than on the road.

### 3.3.4 Street trees

Street trees are a strong feature of this Conservation Area, running along the majority of streets. They are typically mature Sycamore and Norway Maples with Cherry trees on Hamilton Place and Beaconsfield Road. Younger replacement planting has been carried out in Carlton Place, Beaconsfield Road and Beech saplings have been planted along St Swithin Street.

There is minimal damage to paving around the trees, although some concrete paving blocks have been lifted by the maturing root systems. The street trees are generally well maintained.

Though there are no street trees present between Queen Cross and Queen's Gate, the area still looks wooded due the high level of trees planted within the garden and courtyard areas of premises along these roads.

### 3.3.5 Signage

The street name signage in the Conservation Area is traditional black letter tiles with white writing. In some places in character area B (Queen's Road and the south side of Albyn Place) this has been replaced with standard blue street signage. The Conservation Area has a number of principal main roads running through it, such as Queen's Road and Anderson Drive, and the directional based road signage reflects this.

The signage associated with the shops and shop frontages are in a good state of repair and relate well to the Conservation Area.

Commercial signage is kept to a minimum on the commercial premises on Rubislaw Terrace. The signage that is present is subtle. Within character area B (Queen's Road and the south side of Albyn Place) there is an abundance of signage associated with commercial premises. Many of these are formed in granite or muted coloured aluminium; sit low to the ground; are unassuming in scale and are a positive addition to the Conservation Area. However, there is signage present that does not make a positive contribution.

### 3.3.6 Street furniture

There is minimal street furniture on residential streets. In those streets that are heavily trafficked (Carden Place, Queen's Road, Albyn Place, A90, Union Grove and St Swithin Street) the street lights are of a standard more associated with this use. Bus stops; bins; signal crossings and pedestrian safety barriers are present. There are a noticeable number of black cast iron bollards within character area C (north and south of Queen's Road, but east of Rubislaw Den), which are concentrated round the road junctions that lead to Fountainhall Road.

Victorian style lighting columns are present in Albert Terrace and Rubislaw Terrace. Wooden planters and benches are located in Rubislaw Terrace and Queen's Terrace Gardens, on an area of hard standing to the west of Albert Terrace, at the Queen's Gate and Queen's Cross roundabout, outside the Queen's Cross Church and outside the shops on Fountainhall Road. Iron railings surround the formal gardens and are present in a number of properties in character area A (Albyn Place, Carden Place

and Victoria Street) and B (Queen's Road and the south side of Albyn Place). Dog litter bins are located within the formal gardens.

Within the grounds of commercial properties there is an abundance of flood lighting, which at night causes a high degree of light pollution. Many of these installations do not contribute positively to the area and could be improved.

The most obvious piece of street furniture within the Conservation Area is the category B listed Bronze statue of Queen Victoria that sits atop pink marble plinth at the Queen's Cross Roundabout.

### 3.3.7 Negative factors / issues

There are no negative features for the public realm relating to character areas C, D and E.

Character area A: Albyn Place; Carden Place; Albert Terrace and Victoria Street

The pavements around the root systems of the trees are uplifted in places. The majority of back gardens on Rubislaw Terrace and Queen's Terrace have already lost green space for car parking spaces.

Character area B: Queen's Road and the south side of Albyn Place

An area which will need to be further addressed is commercial signage, specifically materials, proportions and design of signage that is deemed to be appropriate for the character area given its zoning as West End Office Area. The flood lighting of buildings at night is an area which needs to be considered.

### 3.4 Natural environment

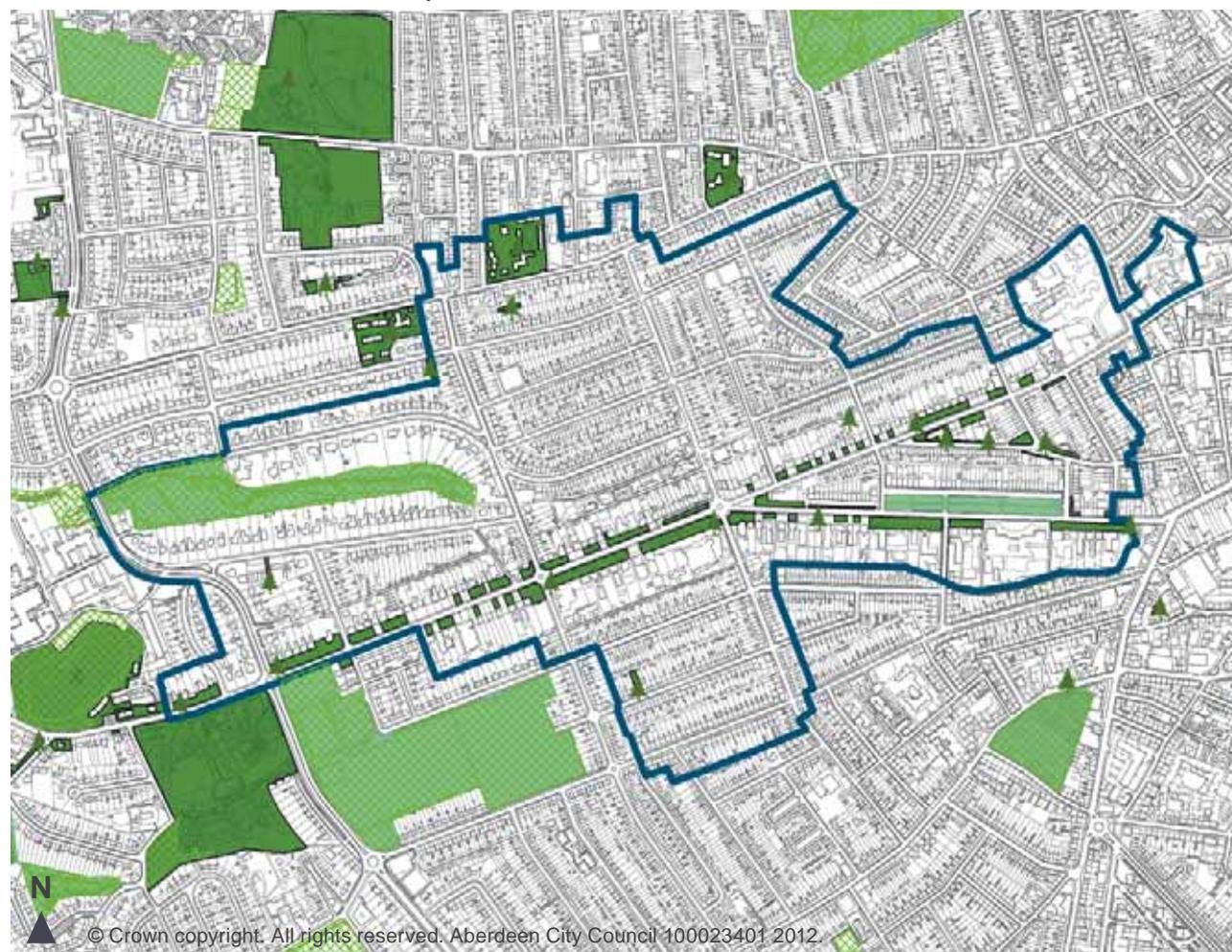
#### 3.4.1 Open spaces

There are differing types of open space within the Conservation Area however the majority is formed through the private space that accompanies each building.

**A | Albyn Place; Carden Place; Albert Terrace and Victoria Street.** Premises have small front and rear gardens. Commercial premises such as those on Rubislaw Terrace have developed rear gardens to hard standing to accommodate car parking. There is formal garden space at Rubislaw Terrace Gardens and Queen's Terrace Gardens which covers just over 1 sq km. The gardens are separated from the pavement area on three sides by cast iron railings and are accessed through gates on all sides. A detailed granite balustrade runs along the north edge of the gardens. The area is well covered with mature trees.

**B | Queen's Road and the south side of Albyn Place.** Within the West End Office Area the majority of rear gardens have now been given over to car parking. A number of rear gardens also have large extensions present. The removal of front garden space is less prominent along Carden Place, than on Albyn Place and Queen's Road. A number of boundary hedges are present and commercial premises have kept a bank of shrubbery along the street. Further to this there are premises where the front courtyard element has been kept.

Plan 22 : Natural environment : Albyn Place and Rubislaw area



#### Key

- Urban green space
- TPO single trees
- TPO areas
- Greenspace network

**C | north and south of Queen’s Road, but east of Rubislaw Den.** There are two bowling greens present within the character area - one on Hamilton Place and one on Carlton Place. The North Burn of Rubislaw, runs along the back lane to the south of Beaconsfield Place and acts as a wildlife corridor.

**D | Rubislaw Den area.** The woodland at Rubislaw Den is a private garden managed by the Rubislaw Den Feuars Association, which represents the 59 properties surrounding the site. To the west of Anderson Drive is a small informal wooded area of with mature trees and a wooden bench.

**E | Mackie Place.** The undulating nature of the landscape leads towards the Denburn that runs throughout the area. There is a large percentage of formal and informal open space. Formal open space surrounds the Grammar School, which sits within its grounds. There is informal open space, approximately ¼ sq km in size, to the west of the Grammar School. This area is separated into two sections by a high stone built wall that is open to Skene Street. They are well maintained and contain a number of mature trees. The private gardens and open space surrounding Mackie Place, along with the landscape give it a very unique character. The area is set at a lower level than Skene Street and is dominated by mature tree cover.

### 3.4.2 Trees

Trees are hugely important to the Conservation Area – they create changes through the seasons, providing wildlife habitat and birdsong. From an historic environment perspective trees help to emphasise the grandeur of the streets and properties in this area. Even where there are no street trees, such as Queens Road, trees within the property frontages along make an invaluable contribution to the streetscape. There are a number of Tree Preservation Orders containing a number of trees and some running the length of streets (Plan 6).

The dominant tree species includes Norway Maple, Cherry, Beech, Horse Chestnut, Elm, Lime, Holly, Yew, Hawthorn and Whitebeam, with most street trees being Sycamore and Norway Maple.

### 3.4.3 Negative Features

The natural environment negative features relate to character area A and B.

**A | Albyn Place; Carden Place; Albert Terrace and Victoria Street.** The formal garden space of Queen’s Terrace Garden and Rubislaw Terrace Garden is well used. The frequency of use could be increased through diversification of activities. There is also the loss of garden space due to the development of car parking.

**B | Queen’s Road and the south side of Albyn Place.** The loss of open space in the front and rear gardens due to car parking and rear office extensions has had a negative impact on the natural environment within the character area. However Tree Preservation Orders, street trees and green courtyards areas all serve to increase the attractiveness of the area.



Top : Albyn Place  
Bottom : Carden Place

### 3.5 Key characteristics

The following key characteristics enhance the Conservation Area and need to be retained/protected /conserved.

#### A | Albyn Place; Carden Place; Albert Terrace and Victoria Street.

General
<ul style="list-style-type: none"> <li>• Linear tree lined streets</li> <li>• Build line and garden space</li> <li>• Back lane wall/garage/features – undeveloped residential/developed commercial properties</li> <li>• Street light fittings</li> <li>• Corner buildings more detailed than rest of street</li> <li>• Ironwork on guttering and down pipes</li> <li>• White timber sash and case windows</li> </ul>
Residential buildings
<ul style="list-style-type: none"> <li>• Aberdeen cottage - coursed one and half storey rubble build, with slate roof and dormers</li> <li>• Terraced blocks – coursed two storey rubble build with slate roof and dormers, strong string course detail</li> <li>• Very low boundary walls</li> <li>• Stone paving slab</li> <li>• Dormer windows with dog tooth patterning</li> <li>• Simple door and window lintel detail</li> </ul>
Commercial buildings
<ul style="list-style-type: none"> <li>• Two storeys, possibly with basement</li> <li>• Ashlar granite</li> <li>• Terraced buildings – either plain detailing, or ornate detailing with door and window lintel and string course, accessed by a flyover (steps).</li> </ul>

## B | Queen's Road and the south side of Albyn Place.

- Very wide linear tree lined main thoroughfare with wide linear tree lined streets
- Substantial detached or semi-detached properties
- Build line set back from the road and large garden area to rear and a courtyard to the front
- Back lane high walls in coursed rubble, topped with coping stones
- Some original back lane buildings, such as original coach houses and outbuildings are present
- Corner buildings more detailed than the remainder of the street
- Low granite boundary walls on the front elevation
- High density of vegetation from street trees and the front of buildings
- Cast iron present on guttering, down pipes and railings
- Queen's Road - Bay windows are prevalent, mostly running over two storeys; crow stepped detailed gables; dormers; large doors with fanlights and sidelights; detailed oriel doors ways in some buildings; mixture of pink and grey granite in some buildings with string course and decorative features in pink granite.
- Carden Place - dormer windows features such as dog tooth patterning; size of dormer in proportion to the building; broad doors with lintels and fanlights,
- Albyn Place –classical styling, columns present on a number of entrances; few dormer windows; more stoic and subtle in styling than Queen's Road.



Top : Queen's Road  
Bottom : Devonshire Road



Top : Osborne Place  
Bottom : Queen's Road

### C | north and south of Queen's Road, but east of Rubislaw Den.

- Wide linear tree lined streets
- Asymmetrical terraced properties typically two storey with bay windows
- Single storey with dormer on eastern section of Osborne Place
- Broad doorways with stained glass fanlight and side lights
- Mostly coursed granite buildings with slate roof, except Fountainhall Road and Osborne Place which is ashlar
- Stringcourse is visible due to detailing with grey granite
- Lintel detail on the doorway
- Ironwork detailing on the gutters, down pipes and bay window roof
- Low boundary garden wall
- Typically no dormers, with the exception being the eastern section of Osborne Place

## D | Rubislaw Den area.

- Very wide tree lined streets
- Distinctive and unique houses
- Set within large gardens
- High degree of vegetation if front gardens
- Substantial houses 2 or 3 storeys
- Bay windows
- Wide doors with fan and side lights
- Low granite walls
- Ironwork detailing on the gutters and down pipes
- Houses set back



## E | Mackie Place.

- Large amounts of wooded open space
- Boundary walls
- Undulating nature of the landform
- Burn
- Three storey buildings

Top : Rubislaw Den North  
Bottom : 3 Mackie Place

## 4 Management

Please see Section 2 Conservation Areas Management Plan for all guidance relating to the management of Albyn Place/Rubislaw Conservation Area. Please note that Section 2 also contains specific guidance on rear extensions within the West End Office Area (section Q on page 22). No alterations to the Conservation Area boundaries are proposed.

Strengths	Weaknesses
<ul style="list-style-type: none"> <li>• Linear and grid pattern of the development</li> <li>• High quality buildings, many of which are listed, in good state of repair and maintenance</li> <li>• Abundance of street trees and trees/vegetation within front gardens/ front courtyards</li> <li>• Diversity of buildings</li> <li>• Original dormer pattern retained on residential streets</li> <li>• Quality of material used</li> <li>• Public transport linkages</li> <li>• Corner buildings</li> <li>• Views of churches aid views and way finding</li> <li>• Traditional and historic palette of materials which is characteristic of Aberdeen and its granite heritage</li> </ul>	<ul style="list-style-type: none"> <li>• Area of pavements in poor repair around the root system of trees</li> <li>• Front car parking on some properties in Victoria Street removing the original street pattern</li> <li>• Removal of timber sash and case windows</li> <li>• Installation of thick framed uPVC windows</li> <li>• Inappropriately placed satellite dishes</li> <li>• Inappropriate box dormers on front elevation of listed buildings</li> <li>• Loss of the original pattern and boundary walls of back land development due to car parking and rear extensions.</li> <li>• Loss of vegetation in the front courtyard and rear gardens due to car parking and extensions</li> <li>• Inappropriate signage materials, proportions and colours</li> <li>• Inappropriate floodlighting detracting from the best features of individual buildings</li> <li>• Variety of widow styles and materials in flatted properties</li> <li>• Inappropriate placement of satellite dishes.</li> <li>• Front box dormers</li> </ul>

Strengths	Weaknesses
	<ul style="list-style-type: none"> <li>• Removal of stained glass fanlight and sidelights from doors</li> <li>• Some traditional street signage removed and replaced with blue signage</li> <li>• Burglar alarms</li> <li>• Variety of windows styles and materials in flatted properties</li> <li>• Underused informal open space</li> <li>• View of the backlane car parking on Waverley Lane</li> </ul>



Corner building with traditional dormers,  
Prince Arthur Street



Back lane car parking, Waverly Lane



Looking over the Denburn

Opportunities	Threats
<ul style="list-style-type: none"> <li>• Diversify the open space within the formal park area</li> <li>• Reinstate street trees where these have been lost</li> <li>• Repair and reinstatement of traditional cast iron railings</li> <li>• Ensure high degree of vegetation remains or is increased within front courtyards</li> <li>• Reinstate vegetation in front courtyard areas where this is patchy</li> <li>• Completion of design and access statement and context appraisal for new developments</li> <li>• Enhance the presence of the Denburn</li> <li>• Improve use of informal open space</li> <li>• High quality extensions that respect, compliment and add to the character of the Conservation Area</li> <li>• Repair and replacement of windows with those of traditional style, proportions and materials</li> <li>• Enhancement of rationalisation of street furniture and signage</li> <li>• Education to ensure property owners are aware of the history and value of the Conservation Area; information on how to maintain historic buildings and their obligations as property owners (especially with regard to tenement properties and communal repairs)</li> <li>• Develop floodlighting guidance</li> <li>• Develop guidance on extensions in the West End Office Area</li> <li>• Develop guidance on railing reinstatement</li> </ul>	<ul style="list-style-type: none"> <li>• Loss of the original pattern of development and boundary walls of back land development due to car parking and extensions</li> <li>• Loss of vegetation in the front courtyard and rear gardens due to car parking and extensions</li> <li>• Unsympathetic development that does not reflect or relate to the character of the character area</li> <li>• Lack of enforcement for breaches of planning permission/regulations</li> <li>• Removal of boundary walls</li> <li>• Garage premises at the junction of Albyn Lane and Albyn Grove may be subject to unsympathetic development</li> <li>• Unsympathetic development of large residential garages</li> <li>• North of Spademill Lane, area of garages which may be lost to future inappropriate development within this area</li> <li>• Development within the informal open space</li> <li>• Development on the informal open space to the west of the Grammar School</li> </ul>

## List of Streets in the Albyn Place and Rubislaw conservation area

- Albert Lane, (off Albert Street)
- Albert Street 1-35 inclusive
- Albert Terrace, all nos
- Albyn Grove, 1, 3, 6
- Albyn Lane, (north side except west end where both sides in CA4)
- Albyn Place, all nos
- Albyn Terrace, all nos
- Anderson Drive, 113-125, 104-116
- Ashley Lane, (north side)
- Ashley Road, 79-93, 84-88
- Bayview Road, all nos
- Beaconsfield Place, all nos
- Beechgrove Court, 1-6
- Beechgrove Place, 13-17
- Beechgrove Terrace, 82
- Blenheim Lane
- Blenheim Place, all nos
- Brighton Place, 105-119, 106-118
- Carden Place, all nos, Carden Medical Centre, former Melville Carden Place Church, St. Mary's Episcopal Church
- Carden Terrace, all nos
- Carlton Place, all nos, Bowling Club
- Desswood Place, all nos
- Devonshire Road, 1-105, 2-100
- Earl's Court Gardens, all nos
- Forest Avenue, 199-217, 178-186, Albyn School
- Forestgait Lodge, all nos, (off Richmondhill Place)
- Forest Road, all nos
- Fountainhall Road, all nos, Blenheim Gate and House, Dempsey Court, Grampian Court
- Gladstone Place, all nos
- Hamilton Place, excluding 2, Bowling Club
- Jack's Brae
- King's Gate, 7-55, 2-54, Forestgait Old Peoples Home, Forestgait Lodge
- Mackie Place, all nos, (off Skene Street)
- Osborne Place, all nos
- Prince Arthur Street, all nos
- Queen's Cross, 1-3, Queen's Cross Church, St. Joseph's School
- Queen's Gardens, all nos, Rubislaw Church
- Queen's Gate, all nos
- Queen's Lane North
- Queen's Lane South (all E of 213 Forest Ave, north side only W of 213 Forest Ave)
- Queen's Road, 1-63, 2-120
- Queen's Terrace, all nos
- Richmondhill Court, all nos
- Richmondhill Place, 3-19 odd nos, 16, 18 (Richmondhill House)
- Rose Street, 69-73, 75 (Melville Court)
- Rubislaw Den Gardens, all nos
- Rubislaw Den North, all nos
- Rubislaw Den South, all nos
- Rubislaw Place, all nos
- Rubislaw Terrace, all nos
- Rubislaw Terrace Lane
- St Swithin Street, all nos
- St Swithin Row
- Skene Place, all nos
- Skene Street, 170-181 all nos, 158-168 even nos, Melville Court, former Skene Street Church, Aberdeen Grammar School, Lodge, French School
- Spademill Lane
- Spademill Road
- Stanley Street, 128-138
- Thistle Street, 63-69
- Union Grove, 241-305, 246-300
- Union Grove Lane (excluding part E of 50 St. Swithin Street)
- Victoria Street, all nos
- Waverley Lane, all nos
- Waverley Place, all nos
- Whitehall Road, all nos
- Windsor Place, (off Thistle Lane)



Top: Carlton Place  
Bottom: Beechgrove Terrace



Albert Terracet